



TONGANOXIE PLANNING COMMISSION

Agenda

May 4, 2017

7:00 p.m.

City Council Chambers

321 S. Delaware St.

- 1. CALL TO ORDER**
- 2. APPROVAL OF PC MINUTES** – April 6, 2017
3. Old Business
 - a. Final Plat – Timber Hills #4
- 4. NEW BUSINESS**
 - a) Rezone Tonganoxie Business Park from “BP-Business Park District” to BP-Business Park District with a Development Plan.
 - b) Preliminary Plat & Development Plan – Business Park Site
 - c) Final Plat – Business Park Site
 - d) Final Development Plan – Lot 5- Unilock Site
 - e) Final Plat - Lot 5 – Unilock Site
- 5. OLD BUSINESS**
- 6. OPEN AGENDA**
- 7. GENERAL INFORMATION**
 - a.) March Home Builders Association Permit Statistics
 - b.) March Market Share Report
- 7. ADJOURN**

TONGANOXIE
PLANNING COMMISSION
MEETING MINUTES
APRIL 6, 2017

Call to Order – The Planning Commission met on April 6, 2017. John Morgan called the meeting to order at 7:00 pm. Members present were Commissioners Zach Stoltenberg, Jacob Dale, John Morgan, Monica Gee, Steve Ashley and Patti Gabel. Steve Gumm was absent. A quorum was met. Also present were George Brajkovic, City Manager, Chris Brewster City Planner, Fire Chief Jack Holcom, and Heather Holek, Recording Secretary.

Approval of Planning Commission Minutes–Monica Gee moved to approve the Planning Commission minutes from March 2, 2017. Zach Stoltenberg seconded the motion. All Ayes. Motion carried (6-0).

New Business

Planning Commissioner Introduction

- Zach Stoltenberg was welcomed to the Planning Commissioners board

Review Final Plat-Timber Hills Subdivision-Phase B

- Chris Brewster City Planner presented a staff report of the final plat for Timber Hills Farms No. 4, phase B along with recommendations before final plat approval.
- Tonganoxie Fire Chief Jack Holcom presented test results for the 3 fire hydrants in Timber Hill Farms. Both test took place earlier in the week between 9am and 11am. The tests were done to determine the fire protection in the event of a house fire. These test performed measure the fire-flow, hydrants residual pressure and static pressure which determine if these hydrants provide adequate pressure. All test performed barely passed based on the KDHE and NFPA requirements, but did not meet the 2003 Fire Code for fire-flow. However, the water loop has not been installed which could change the test results. Chief Holcom also had concerns in regards to the loop placement and elevation.
- Greg Ward the developer of Timber Hills Farms spoke to the planning commission's board. He agreed to install the water loop and allow the Fire Chief to retest the fire hydrants again after the installation of the water loop. The planning commission also recommends the pressure test take place early morning or evening when the highest amount of water usage is occurring in the area. Recommendations were made that Greg Ward talk to his engineer and look at relocation of the water loop prior to completion to see if there is a better placement option, and if placement at a lower elevation would result in improved test readings. The planning commissioners would also like to see an engineering report for the future houses in the later phases, and what effect those homes will have on readings. There was also discussion of possible alternatives to bypass the low residual and static pressure such as residential sprinkler systems being installed in the homes if the water loop does not increase the pressure. If Greg Ward provides adequate testing of the hydrants from the Fire Chief after the water loop has been installed and can also provide a report from his engineer the planning commissioner's board agreed to call a special meeting prior to the May 4, 2017 meeting.
- Monica Gee Moves to table the final plat approval until new recommendations are meet
- Patty Gabel seconded the motion
- Roll Call Vote: Patty Gabel, aye; Monica Gee, aye; Steve Ashley, aye; John Morgan, aye; Jacob Dale, nay; Zach Stolenberg, nay;
- Motion Carried (4-2).

Old Business – Comprehensive Plan Work Session

Mr. Graham Smith, Gould Evans were absent and did not have any Comprehensive Plans to update the planning commissioners on and continued future discussion to the May 4, 2017 meeting.

Open Agenda –

- George Brajkovic noted that Tonganoxie had the most building permits issued in Leavenworth County in the month of February

With no further business to discuss Monica Gee moved to adjourn. Seconded by Steve Ashley. All ayes. Meeting adjourned at 8:55 p.m.

Minutes Approved: _____

Submitted by: Heather Holek



City of Tonganoxie, Kansas

PLANNING STAFF REPORT

Case#: 2017-005P

Date of Report: April 27, 2017

Applicant Name: GBA, Inc. (Harland Russell)

Property Owner Name: City of Tonganoxie, Kansas (George Brajkovic)

Subject Property Address: Southeast Corner of 222nd Street and Kansas Avenue, Tonganoxie, KS 66086

Application:

Zoning District: BP – Business Park

Type of Approval Desired: Rezoning from “BP” Business Park to “BP” Business Park with a Development Plan

Date of Application: March 24, 2017

Date of Meeting: May 4, 2017

Surrounding Property – Zoning and Use:

West: RR-2.5 Rural District; Agriculture and Undeveloped (Leavenworth County)

South: RR-2.5 and RR-5 Rural Districts; Residential and Undeveloped (Leavenworth County)

East: BP Business Park District; Undeveloped (City of Tonganoxie)

North: RR-2.5 Rural District; Residential, Agriculture and Undeveloped (Leavenworth County)

Vicinity: The property in question represents the western portion of a proposed business park development for light and moderate industrial and business uses. The adjacent property is proposed for future residential uses and business park, to the east.

Staff Recommendation:

Recommend approval with conditions.

SUMMARY:*Preliminary Development Plan and Plat – Business Park*

The application proposes to rezone approximately 140 acres from “BP” Business Park District to “BP” Business Park District with a Preliminary Development Plan. The property is located south of the contiguous Tonganoxie City Limits, in a predominately rural, undeveloped portion of Leavenworth County. The property is within the City limits of Tonganoxie and surrounded by County property on the North, South and West and additional City property on the east. The property is zoned “BP” Business Park, but does not have an associated development plan as required by the BP zoning. The surrounding area is a mix of county zoning including “RR-2.5” and “RR-5” Rural Districts that accommodate low intensity residential and agricultural uses. The property is currently undeveloped. This application is for the use of the property for light and moderate industrial and business uses, and includes a development plan that defines the development standards for the entire Business Park.

The preliminary plat divides the property into 6 lots and 1 tract, and establishes the rights-of-way easements and building lines. The preliminary plat proposes additional right-of-way along both 222nd Street and Kansas Avenue, 50 feet from the centerline, and appropriate amount to accommodate the future arterial roadways. A total of 100 feet of right-of-way, of 50 feet on each side of the centerline, is needed. The preliminary plat does not identify the future use of Tract A. Through conversations with the applicant Tract A is to be use for storm water detention and natural area.

Final Plat

A final plat has been prepared for the entire business park site, 140 acres, to create 6 lots and 1 tract. The final plat does identify the necessary easements within the park and indicates sufficient rights-of-way for 222nd Street and Kansas Avenue.

Final Development Plan – Unilock Site

The Final Development Plan is for the Lot 5 of the proposed Business Park to accommodate development of a manufacturing facility and storage yard for Unilock. The proposed use of this site includes production of landscape materials such as pavers, walls, fireplace features and grills for use in outdoor applications, both residential and commercial. The final development plan is for a 34.43 acre site located at the southwest corner of the Business Park adjacent to 222nd Street to the west. The final plan is for three buildings to be constructed over time, with the first building being located at the north central section of the site, along the new Business Park Drive, to serve as a “ check-out and storage” building to support the pick-up, delivery and storage of material on-site. Subsequent buildings are proposed for the manufacturing of products on site in addition to the storage and distribution. The timeline for future development of the site is governed by the real estate agreement.

ANALYSIS:

This rezoning is requested for an undeveloped parcel of land located at the Southeast corner of 222nd Street and Kansas Avenue and is approximately 140 acres in size. The property was rezoned BP Business Park on May 24th 2010, but a development plan was not adopted. The BP District is intended to “accommodate a mix of office, research, light industrial and limited retail and service uses in a planned business park setting. This is a planned zoning district designed to provide for low-density, high-quality development with increased amenities and open space, consequently, in appropriate circumstances, property zoned BP may be located adjacent to residential uses. Uses in this district will be held to a higher aesthetic standard than other industrial zones.” Additionally, the BP District states, “The BP District shall conform to all other sections of the Zoning Ordinance and Subdivision Regulations unless specifically exempted or modified in the ordinance granting the BP District.”

Preliminary Development Plan

The rezoning of the property to the Business Park District, with the adoption of the Preliminary Development Plan, places development restrictions with regard to use, pattern and scale of development, as well as access, landscaping, signage and other site development elements for the proposed business park. The proposed preliminary development plans proposes the following regulations on development of the business park.

- The business park property is approximately 140 acres in size.
- The park would contain six lots totaling 5,649,601 square feet, 129.7 acres, of developable land and approximately 11 acres of land dedicated to open space, including one tract, 8.15 acres in size, dedicated to stormwater retention.
- The park would accommodate up to 1,592,020 square feet of building, supported by 1,741 parking spaces.
- The development of the Business Park is impacted by a significant area of wetlands that divide the site east to west in a few different locations, making the site layout difficult.
- The uses allowed in the business park are limited to office, retail, showroom, laboratory and warehouse and manufacturing.
- Design Guidelines are proposed as part of this Development Plan that would regulate site planning – setbacks, building orientation, views, land use, circulation and access, parking, loading, outdoor storage, signage, site maintenance and site performance. The design guidelines proposed would also address architectural standards, landscaping and stormwater management within the Business Park. Some of the most pertinent design guidelines provide the following regulations:
 - A natural Kansas design theme for the Business Park design buildings, site and landscape.
 - Proposed development site setbacks meet the current zoning regulations.
 - Uses within the park would be limited to manufacturing, research – development and testing, wholesaling, warehousing and distribution, office uses, retail sales
 - Ingress / Egress to the Business Park and sites from 222nd Street and Kansas Avenue are limited.
 - Parking requirements are as follows – 1 space / 250 Sq. ft. of Office, 1 space / 1,500 sq. ft. of Warehouse and 1 space / 1 employee for manufacturing.
 - Parking areas are required to be dust-free and hard covered.
 - Loading Docks shall face away from the primary streets.
 - Outdoor storage will be screened from all streets by fence, vegetation and/or berm.
 - Building heights shall not exceed 6 stories.
 - The landscaping plan provides a cohesive treatment for the park and individual sites.

Final Development Plan

The final development plan for Lot 5 of the business park conforms to the preliminary development plan for the Business Park. The plan identifies the immediate development of the northern portion of Lot 5 for the construction of a “check-out / storage building” and outdoor storage area. The outdoor storage area is approximately 13 acres in size (38% of the site) and is proposed to be surfaced with aggregate. The initial building is proposed to be approximately 17,000 square feet in size and be utilized for product pick-up / checkout and storage. The Business Park landscape adjacent to the portion of Lot 5 that is being developed will be installed at the time of construction. Subsequent areas of landscape will be installed as construction occurs. The timing of future development on Lot 5 is governed by the real estate agreement between the City of Tonganoxie and Leavenworth County.

Rezoning applications must be reviewed against the following considerations (in bold italic text) as outlined by the City of Tonganoxie Zoning Ordinance, Section 27-011. Following each of the considerations are staff comments (in plain text). However, since staff has not had the benefit of considering testimony provided during the public hearing, the Planning Commission should consider

each factor and the analysis in conjunction with testimony at the hearing prior to acting on the application. No one factor is necessarily controlling, nor do all factors need to be clearly established, but rather they are to be considered in balance as an overall evaluation of the application.

1. Character of the neighborhood.

The character of the surrounding area is rural residential, natural areas and some agricultural uses. The northwest corner of the site is adjacent to Highway 24/40 oriented north and south to the west of the property. At the northwest corner of the property is a mobile home park with approximately 45 housing units. Residential development within the City of Tonganoxie city limits lies approximately ½ mile to the north of this site with the property in between being in Leavenworth County. This property is bounded on the north by Kansas Avenue and on the west by 222nd Street, two future arterial streets.

2. Zoning and uses of properties nearby:

Surrounding properties are zoned for rural residential and agricultural uses according to the Leavenworth County Zoning Ordinance. North, west and a portion of the south boundary of the business park are zoned RR-2.5, allowing rural residential uses with a minimum lot size of 2.5 acres, and agricultural uses. The remaining portion of the southern boundary is zoned RR-5, allowing rural residential uses with a minimum lot size of 5 acres, and agricultural uses. The land adjacent to the east of the proposed property is within the city limits of Tonganoxie and is zoned BP Business Park, but does not have an adopted development plan and is restricted by the regulations of the originally created BP District.

3. Suitability of subject property for the uses to which it has been restricted:

The subject property was originally identified and annexed into the City of Tonganoxie on September 14th, 2009. The property was rezoned BP Business Park on May 24th, 2010. The site is adjacent to Highway 24/40 which provides good access and visibility for future users of the business park. Highway 24/40 also provides direct access to Interstate 70 to support potential warehouse users of the business park. The site is also surrounded on the north and west by two future arterial roadways, Kansas Avenue and 222nd Street, according to the Tonganoxie Comprehensive Plan, providing additional buffer from surrounding uses and improving future access to the business park. The preliminary development plan identifies a mix of site sizes to accommodate a variety of potential users, including large sites that are currently lacking the community.

4. Extent to which removal of the restrictions will detrimentally affect nearby property:

The rezoning of the subject property to “BP” would place additional restriction on the site development, building design and landscaping of the business park as well as the individual sites. The additional regulations and design standards are to create a cohesive development theme throughout the park and reduce the impact of potential uses within and on surrounding properties.

5. Length of time the subject property has remained vacant as zoned:

The subject site has not been developed before and is currently in agricultural use.

6. Relative gain to the public health, safety and welfare by the destruction of the value of the landowner’s property as compared to the hardship imposed upon the landowner:

The design and development of the business park will be governed by the development plan and design guidelines to achieve a higher aesthetic standard and reduce the impact on surrounding property. Most of the surrounding property is currently not within the city limits of Tonganoxie. As future annexation and development occurs the property surrounding the business park

should be evaluated for compatibility, and because of the proposed development plan and guidelines, residential development should remain a viable option.

7. *Conformance of the requested change to the adopted or recognized comprehensive plan of Tonganoxie, Kansas:*

This subject property is located within the city limits of Tonganoxie and the 2006 Comprehensive Plan identifies the future land use of this area as “Low Density Residential” and Rural Residential”. The plan calls for the development of a future commercial node near the intersection of US 24/40 and Honey Creek Road. Much of the Business Park site lies within the “Planning Area” of Tonganoxie but not within the “Near-term Growth Area” as defined in 2006.

It is proposed that manufacturing or industrial uses will be allowed in the Business Park, and the comprehensive plan address the development of industrial uses in proximity to residential uses. The Comprehensive Plan states:

- Industrial areas should have reasonable and convenient access to major arterials as required.
- Industrial areas should be designed to minimize aesthetic incompatibility with neighboring land uses.
- Any research and development areas, including warehouse districts that would be constructed should include a high degree of visual amenities including screening, landscaping and signage.

The location of the proposed business park, the development plan proposed and the design guidelines address each of these items with regard to future development and impact of the business park.

8. *Recommendations of professional staff:*

A. Staff recommended Approval of the Preliminary Development Plan and Plat with the following conditions:

- i. Changes to the “Floor Area Ratio (FAR) Calculations” table
 - a. Change the Title of the 3rd column to “Use”
 - b. Identify on which lots manufacturing is allowed to occur.
 - c. Identify on which lots outdoor storage is allowed to occur as a supplemental use.
 - d. Provide a total for the square footage of lot area for the entire park.
 - e. Change the Floor Area Ratio calculations to decimals (i.e. .34, .24, etc.) and provide an average FAR for the entire business park, .285 average.
 - f. Include Tract A in the project data table and identify use and tract statistics.
- ii. Dedication of 50’ of right-of-way, from the centerline along the property length of Kansas Avenue and 222nd Street.
- iii. The maximum length of a cul-de-sac allowed by the Tonganoxie Subdivision Regulations is 800’. This is a generally connectivity standard that is important to transportation networks. However in relation to this context, the constraints of the site, and this specific development plan the Planning Commission can grant a waiver for the proposed 1,600-foot cul-de-sac.
- iv. Sheet L.2, change name of #5 in Landscape Zone legend to “Native Prairie” and remove “Pasture” from the name.
- v. Preliminary Development Plan and Design Guidelines document changes:
 - a. Add language that regulates the consistency of design between the Business Park signage and Building Design, specifically the consistency of materials and colors.
 - b. Provide typical elevations for the Business Park Architectural standards that delineate the building materials palette for the park.

- c. Site Planning – identify a Park Perimeter Setback of 30 feet, along all property boundaries and street frontages.
 - d. Land uses – Restrict “Manufacturing” uses within the Business Park to “Industrial Uses typically allowed in the standard I-LT Light Industrial and I-MD Medium Industrial zoning categories per the Tonganoxie Zoning Ordinance”.
 - e. Land Uses – Identify “outdoor storage” as an allowed supplemental use to the primary use and restrict its height to 10 feet and require the area dedicated to be paved.
 - f. Loading – Add Business Park Drive to item c., as a restriction for loading docks to front upon.
 - g. Outdoor Storage – Item c., remove “aggregate material” from the definition.
 - h. Architectural Building Standards – Item #1 should read “Building Standards and Materials should seek to work in harmony with the overall natural environment design theme of the Business Park.”
 - i. Architectural Building Standards – Change item 4 to start with “Structure heights...” instead of “Building Heights...”.
 - j. Architectural Building Standards – add item that requires 15% of all facades shall include a masonry product that is consistent with the design theme and colors of the Business Park.”
 - k. Landscaping – Add item to require the 30 foot landscape buffer to be implemented as part of the Park Perimeter Setback of 30 feet, along all property boundaries and street frontages, as development of adjacent sites occurs.
 - l. Landscaping – Add language to restrict site lighting to prohibit light spillover to adjacent properties, within the park and adjacent properties to the park.
- B. Staff recommends Approval of the Final Plat for the Tonganoxie Business Park.
- C. Staff recommends Approval of the Final Development Plan for Lot 5 of the Tonganoxie Business Park with the following conditions:
- i. The outdoor storage area identified be paved.
 - a. OR, at a minimum the aggregate only be allowed for a limited time, tied to the construction of the first manufacturing facility on the site, and that pavement of the outdoor stage area be paved within one-year of completion of the first manufacturing building.
 - b. If aggregate is allowable, either permanently or temporarily, a design detail of the edging used to contain the aggregate should be provided as a design element of the plan documents.
 - ii. Identify the location of site lighting and demonstrate that it will not adversely affect adjacent properties.
 - iii. Provide dimensions of the initial building to be build prior to the issuance of a building permit.

Effect of Decision

The Planning Commission recommends rezoning requests to the Governing Body. Based on the record and other findings of the testimony at the public hearing, the Planning Commission may:

1. Recommend approval,
2. Recommend approval with conditions
3. Recommend denial for rezoning request.

The Governing Body reviews the request in light of the Planning Commission’s recommendation. They may accept the recommendation based on a simple majority of the Governing Body, they may refer the application back to the Planning Commission with direction for specific further discussions or consideration, or they may modify or override the Planning Commission recommendation by a 2/3 vote of the entire Governing Body.

Recommendation

Staff recommends Approval with conditions of the rezoning from “BP” Business Park District to “BP” Business Park District with a development plan, with the conditions stated above.

Graham Smith

Graham Smith, AICP
Contract City Planner



Zoning Classification

- Rural
- Res. Estate
- Single Family
- Multi-Fam. 1
- Multi-Fam. 2
- Multi-Fam. 3
- Manuf. Home Pk.
- Planned Res.
- Historic Bus.
- Ltd. General Bus.
- General Bus.
- Plan. Comm.
- Bus. Park
- Light Ind.
- Mod. Ind.
- Heavy Ind.
- Community Unit Pin.
- Unincorporated
- R-1 Infill Dist.
- City Limits

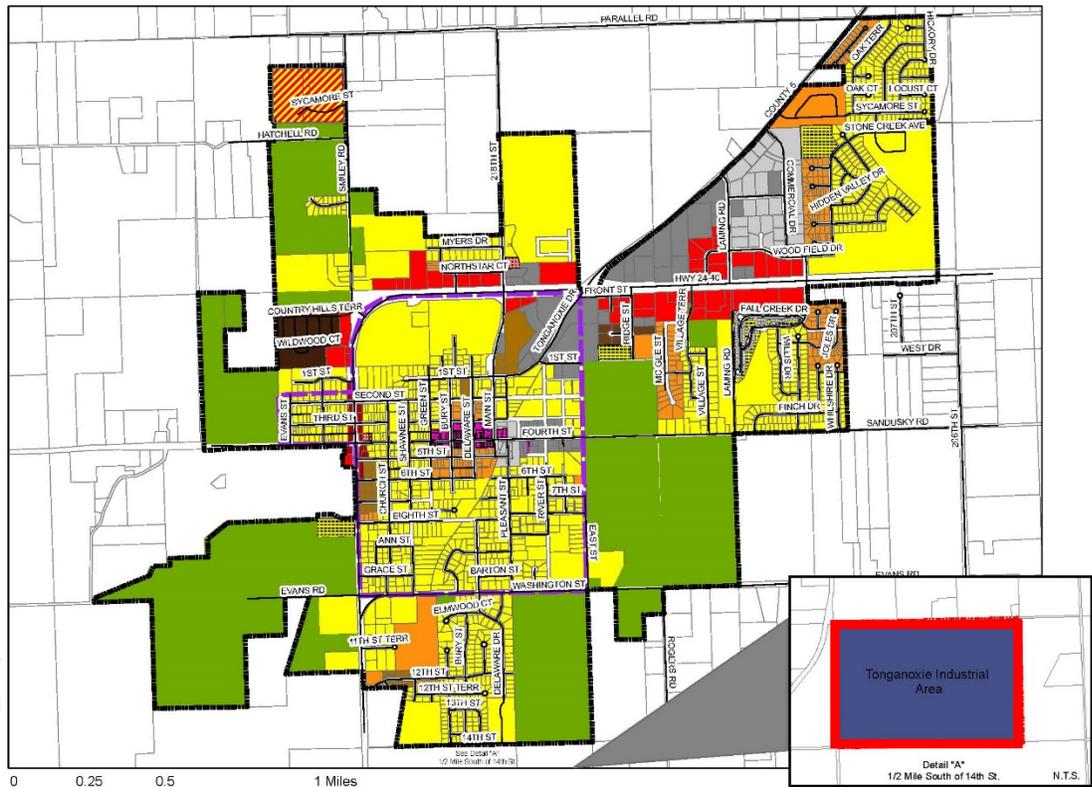
Revisions:
Date: March 11, 2013
Last Ordinance: 1953



Source Data: Map Layers were obtained from Leavenworth County, Kansas GIS Department. This map was created in Arc GIS 9.3.1 from the official AutoCAD map created and maintained by BG Engineers.

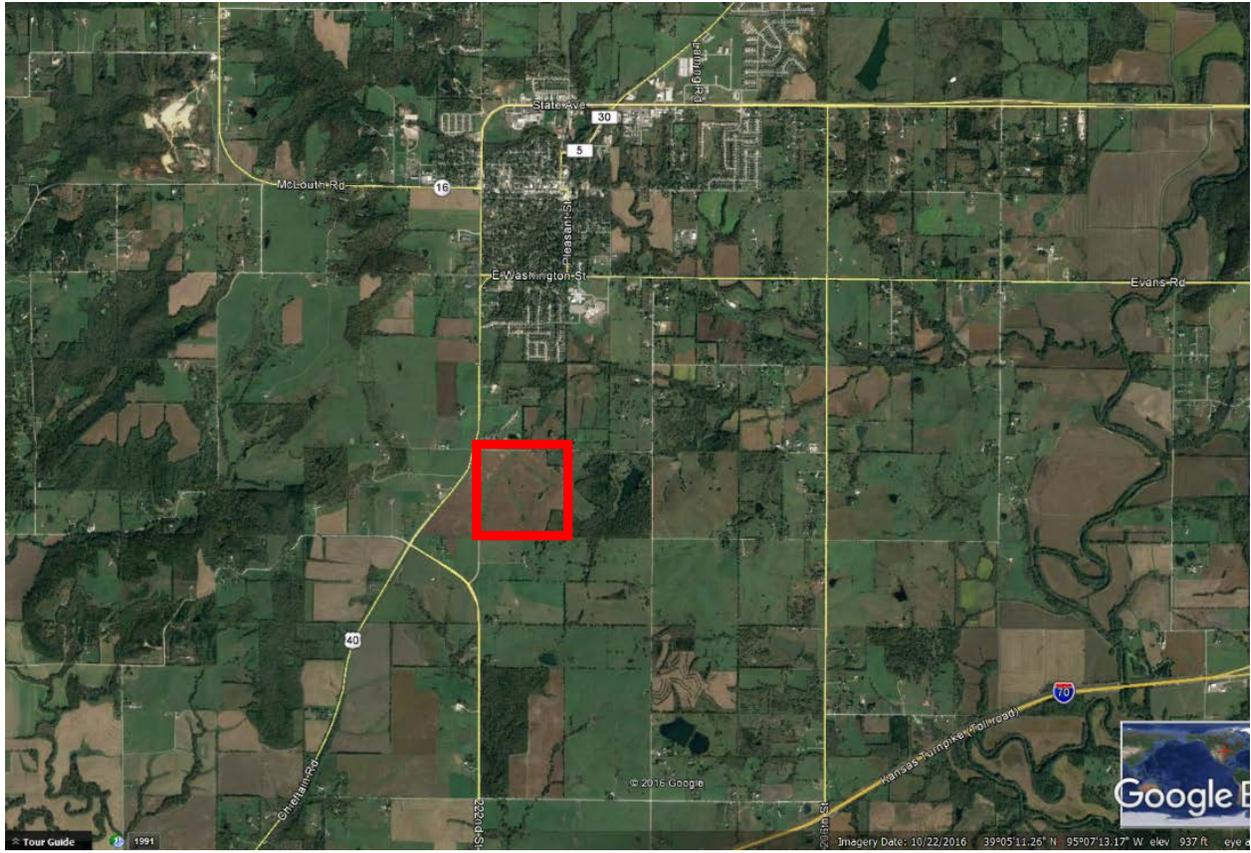


CITY OF TONGANOXIE, KS ZONING MAP



Current City Zoning (property in red box now zoned I-LT)

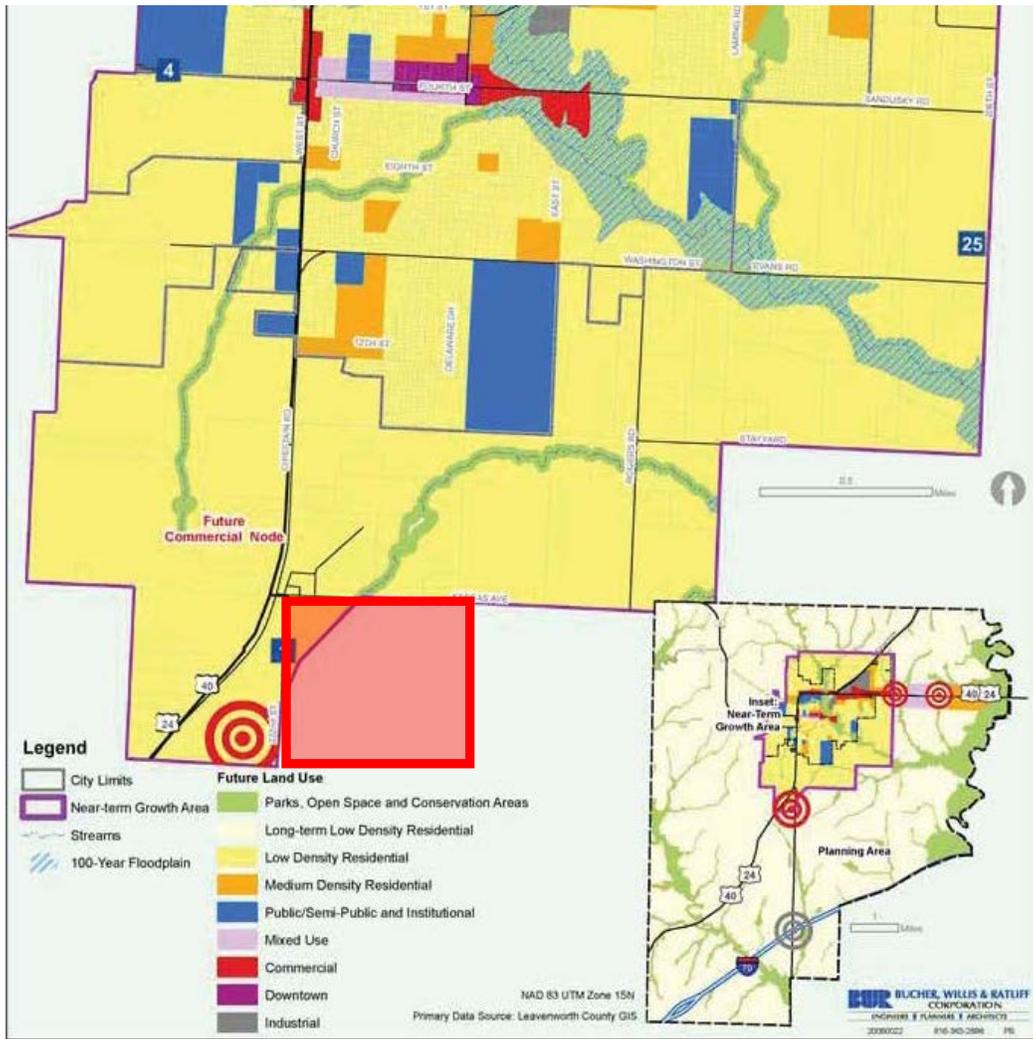
Vicinity



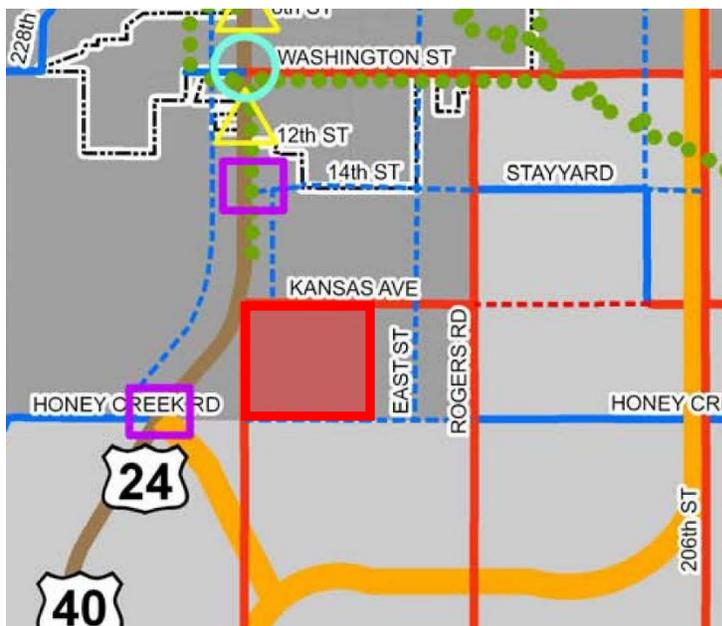
Area



Future Land Use (Tonganoxie Comprehensive Plan 2006)



Future Transportation (US 24-40 Corridor Study 2009)





MEMO

To: George Brajkovic, City Manager
City of Tonganoxie

Cc: Jamie Shockley, Assistant City Manager
Kent Heskett, City Superintendent
Jack Holcom, City Fire Chief
Harland Russell, GBA

From: Brian Kingsley, City Engineer

Date: May 1, 2017

Re: Tonganoxie Business Park
Preliminary Development Plan, Final Development Plan and Final Plat Review
17-1001L

The following are the City Engineer review comments:

Preliminary Development Plan:

- 1) All engineering issues identified to date appear to have been addressed.

Final Development Plan:

- 1) All engineering issues identified to date appear to have been addressed.

Final Plat:

- 1) A property owners association should be created to own and maintain the Tract of land including wetlands and detention. The general note referring to the responsibility of maintenance on the Final Plat should be revised accordingly.
- 2) Construction plans for Street/Storm and Sanitary Sewer should be submitted for review and approval. Approval of the Final Plat should be contingent upon verifying easements and R/W with construction plans.

For questions or comments, please contact:

Brian Kingsley, PE

Vice President

T: 785.749.4474 ext. 2105

E: brian.kingsley@bgcons.com

PROJECT DATA

FLOOR AREA RATIO (FAR) CALCULATIONS					
Lot	Total Square Footage of Lot	Parking Use	Proposed Building SquareFootage	Total Building Area (S.F.)	Floor Area Ratio
1	554,750.37	Office, Retail, Showroom, Lab	30,000	205,000	37
		Warehouse	175,000		
2	95,089.02	Office, Retail, Showroom, Lab	1,500	24,300	26
		Warehouse	22,800		
3	452,989.82	Office, Retail, Showroom, Lab	30,000	145,000	32
		Warehouse	115,000		
4	1,335,446.81	Office, Retail, Showroom, Lab	30,000	450,000	34
		Warehouse	420,000		
5	1,480,954.50	Office, Retail, Showroom, Lab	22,000	237,720	16
		Warehouse/Storage	215,720		
6	1,643,237.32	Office, Retail, Showroom, Lab	30,000	530,000	32
		Warehouse	500,000		
Total Proposed Square Feet (ALL Bldgs.)			1,592,020		

PARKING CALCULATIONS						
Lot	Proposed Parking Ratios	Parking Use	Proposed Building SquareFootage	Required Per Ratio	Total Spaces Required	Total Spaces Provided
1	1/250 s.f.	Office, Retail, Showroom, Lab	30000	120	237	301
	1/1500 s.f.	Warehouse	175000	117		
2	1/250 s.f.	Office, Retail, Showroom, Lab	1500	6	21	21
	1/1500 s.f.	Warehouse	22800	15		
3	1/250 s.f.	Office, Retail, Showroom, Lab	30000	120	197	292
	1/1500 s.f.	Warehouse	115000	77		
4	1/250 s.f.	Office, Retail, Showroom, Lab	30000	120	400	474
	1/1500 s.f.	Warehouse	420000	280		
5	1/250 s.f.	Office, Retail, Showroom, Lab	22000	88	232	152
	1/1500 s.f.	Manufacturing/Storage	215720	144		
6	1/250 s.f.	Office, Retail, Showroom, Lab	30000	120	453	501
	1/1500 s.f.	Warehouse	500000	333		
Grand Total					1540	1741

Current Zoning = Business Park (BP)

	Required	Proposed
Building Height	6 Stories	6 Stories
Maximum Buildings per Lot	1	Varies
Setbacks:		
Front	30'	30'
Side	20'	20'
Rear	25'	25'
Landscape (R/W)	30'	30'

Surrounding Zoning

Rural, Agricultural and Residential RR2.5 - 2.5 Acre Minimum Lot RR.5 - 5 Acre Minimum Lot

SURVEY CONTROL

Coordinates Shown Hereon:

Modified State Plane (Project Ground Coordinates), NAD83
1501 - Kansas North, U.S. Feet
Vertical - NAVD83, U.S. Feet

0.99991631
To get to State Plane:
Coordinates x C.A.F. = State Plane

CP #100 - Set 1/2" Rebar with GBA cap, West side of 222nd Street across from E of field entrance to the East, approximately 1,940' ± South of Kansas Ave.
Coordinates:
N: 286009.99
E: 2137408.34
EL: 926.27'

CP #101 - Set 1/2" Rebar with GBA cap, West side of 222nd Street 48' North of CMP under 222nd, approximately 975' ± South of Kansas Ave.
Coordinates:
N: 286977.93
E: 2137377.62
EL: 924.24'

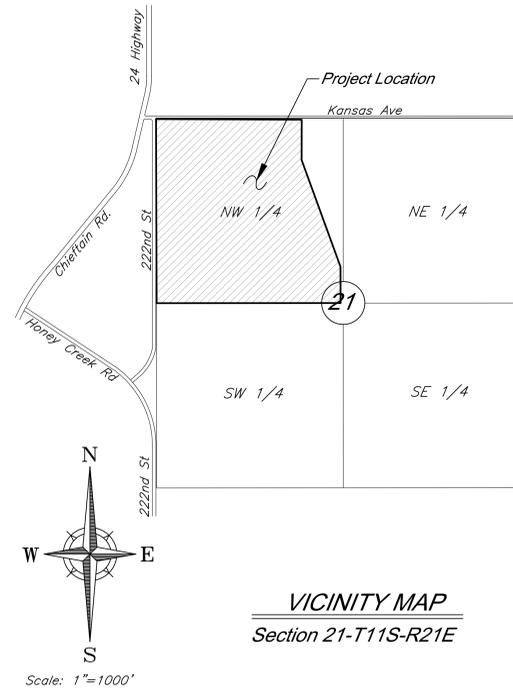
BM #2 - Set Railroad spike in West face of power pole, East side 222nd Street, 2nd pole South of Kansas Ave. Coordinates:
N: 287586.68
E: 2137395.19
EL: 929.01'

BM #3 - Set Railroad spike in East face of power pole, East side 222nd Street, 5th pole North of drive for House # 16680
Coordinates:
N: 285529.67
E: 2137463.13
EL: 933.70'

BM #5 - Chiseled "T" Tap SE corner of the North concrete base of cattle crossing at entrance to cell tower site, South side of Kansas Ave., 3000' East of 222nd Street
Coordinates:
N: 287972.97
E: 2140140.44
EL: 973.54'

BM #6 - Set Railroad spike in North face of power pole, South side of Kansas Ave., 1st pole East of drive for House #21610
Coordinates:
N: 286023.16
E: 2141311.44
EL: 902.76'

PRELIMINARY DEVELOPMENT PLAN FOR TONGANOXIE BUSINESS PARK Sections 21-Township 11S-Range 21E City of Tonganoxie Leavenworth County, Kansas



VICINITY MAP
Section 21-T11S-R21E

Property Description

This is a survey and plot of part of the Northwest Quarter of Section 21, Township 11 South, Range 21 East, of the Sixth Principal Meridian, in the City of Tonganoxie, Leavenworth County, Kansas, more particularly described as follows:

Commencing at the Northwest corner of said Northwest Quarter; thence South 01°50'21" East, along the West line of said Northwest Quarter, a distance of 50.39 feet; thence North 88°09'39" East, departing said West line, a distance of 50.00 feet, to the Point of Beginning; thence North 88°36'15" East, a distance of 2,044.65 feet; thence South 01°23'45" East, a distance of 544.86 feet; thence South 21°28'58" East, a distance of 1,621.37 feet, to a point on the East line of said Northwest Quarter; thence South 01°48'06" East, along said East line a distance of 520.42 feet, to the Southeast corner of said Northwest Quarter; thence South 88°20'00" West, departing said East line, along the South line of said Northwest Quarter, a distance of 2,585.10 feet; thence North 01°50'21" West, departing said South line, a distance of 2,600.32 feet, to the Point of Beginning, containing 5,897,859.01 square feet, or 135.40 acres, more or less.

Floodplain

The Site lies within Zone X, as areas of 0.2% annual chance floodplain. Per FEMA Map Number 20103C325G, dated July 16, 2015.

UTILITY CONTACTS

Sanitary Sewers and Water:	Mr. Kent Heskett City of Tonganoxie 15368 E. 4th Street Tonganoxie, KS 66086 (913) 845-2640	Gas:	Mr. David Teefey Kansas Gas Service 11401 W. 89th Street Overland Park, KS 66214 (913) 599-8933
Telephone, Cable TV, and Fiber:	Mr. Scott Smidt Midco 3901 N Louise Avenue Sioux Falls, SD 57107 (605) 357-8899	Electric Service:	Mr. Mark Gettys Westar Energy 918 Kansas Avenue Topeka, KS 66612 (913) 704-7119

DEVELOPED BY:
CITY OF TONGANOXIE
526 EAST 4TH STREET
TONGANOXIE, KANSAS 66086
PHONE: 913-845-2620
CONTACT: MR. GEORGE BRAJKOVIC
CITY MANAGER

PREPARED & SUBMITTED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
FAX: 913-577-8312
CONTACT: CLINT LOUMASTER P.E.
EMAIL: CLOUMASTER@GBATEAM.COM

INDEX OF SHEETS

Sht. No.	Description
C1.00	Title Sheet
C2.00	General Layout
C3.00	Site Plan (Lots 1-3, Tract A)
C4.00	Site Plan (Lot 4)
C5.00	Site Plan (Lot 5)
C6.00	Site Plan (Lot 6)
L1.00	Landscape Zones
L2.00	Landscape & Trees
L3.00	Street Frontage Plan
L4.00	Landscape Details
A1.00	Typical Building Elevations
A2.00	Typical Building Elevations
A3.00	Typical Building Elevations

PROJECT ENGINEER: CLINT LOUMASTER, P.E.

DATE:

RECOMMENDED FOR APPROVAL:

CITY ENGINEER:

DATE:

CITY SUPERINTENDENT

DATE:

RELEASED FOR CONSTRUCTION:

CITY ADMINISTRATOR

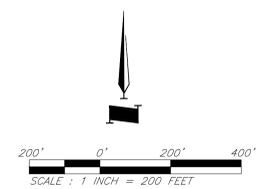
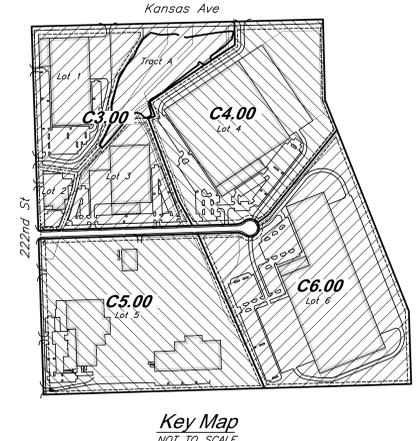
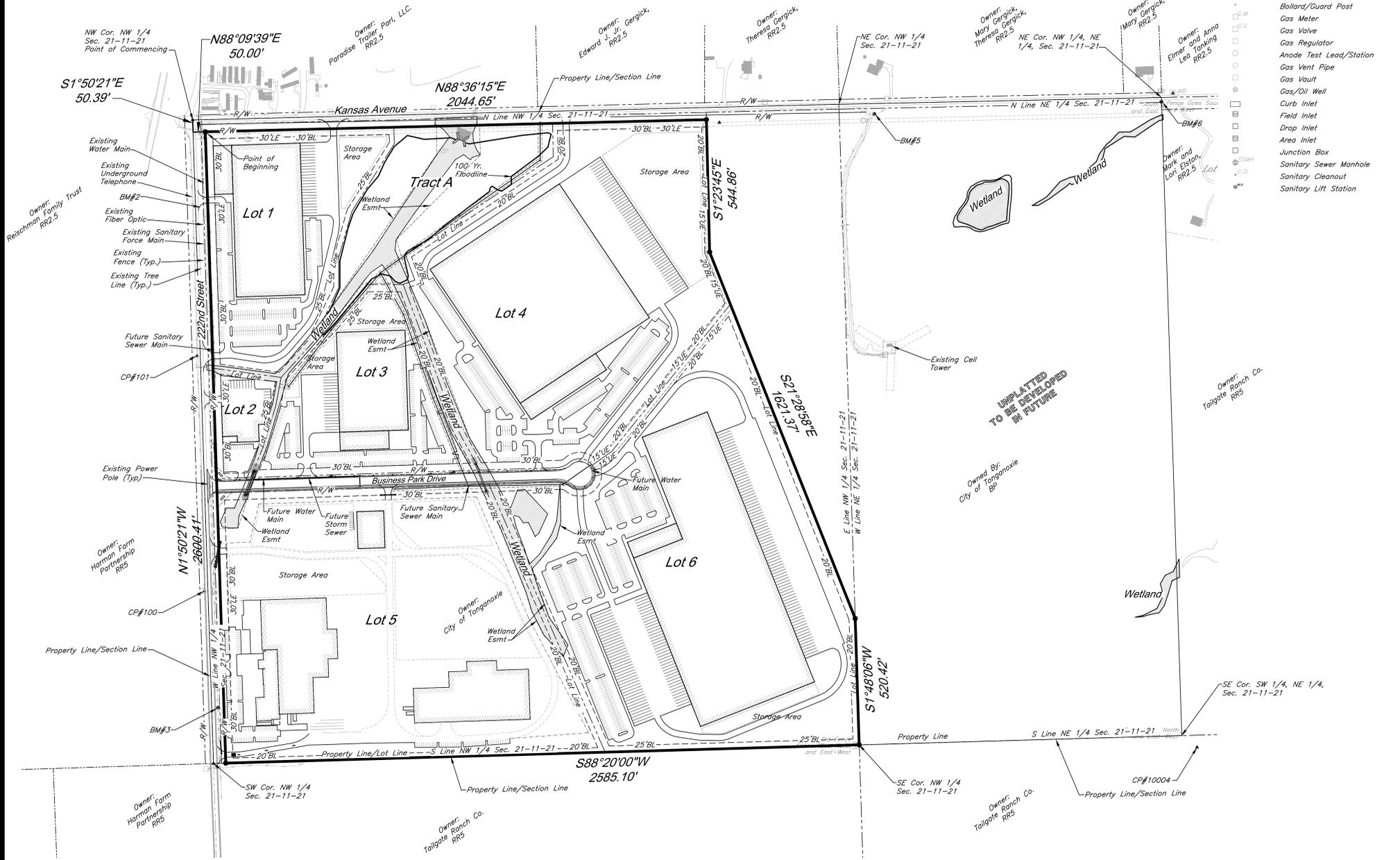
DATE:



9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

LEGEND

○	Utility Pole	○	Light Pole	○	BM	Bench Mark
○	Cable Drop	○	Yard Light	○	CP	Control Point
○	Cable TV Pedestal	○	Flood Light	○	BL	Building Line
○	Satellite Dish	○	Electric Eye Cabinet	○	LE	Landscape Easement
○	Power Pole	○	Mail Box	○	R/W	Right-of-Way
○	Guy Anchor	○	Flag Pole	○	S/E	Sanitary Easement
○	Guy Pole	○	Monitoring Well	○	U/E	Utility Easement
○	Electrical Manhole	○	Boring Hole	○	W/E	Water Easement
○	Electric Meter	○	Mile Marker	○	Barb Wire Fence	
○	Electrical Sectionalizer	○	Railroad Cabinet	○	Barb Wire Fence	
○	High-Voltage Power Pole	○	Railroad Signal Pole	○	Boundary Line	
○	Electric Pedestal	○	Sign	○	Centerline	
○	Power Pole/Telephone Pole	○	Property Corner	○	Chain Link Fence	
○	Gate Post	○	Telephone Manhole	○	Existing Contour Major	
○	Bollard/Guard Post	○	Telephone Pedestal	○	Existing Contour Minor	
○	Gas Meter	○	Telephone Sectionalizer	○	Fiber Optic Line	
○	Gas Regulator	○	Telephone Splice Box	○	Fire Protection Line	
○	Anode Test Lead/Station	○	Telephone Vault	○	Sanitary Force Main	
○	Gas Vent Pipe	○	Telephone Pole	○	Gas Line	
○	Gas Vault	○	Traffic Signal Post	○	Guard Rail	
○	Gas/Oil Well	○	Traffic Signal Controller Box	○	High Pressure Gas	
○	Curb Inlet	○	Traffic Control Sign	○	Hydraulic Signal Line	
○	Drop Inlet	○	Tree Caniferous	○	Over Head Telephone	
○	Area Inlet	○	Tree Deciduous	○	Over Head Cable TV	
○	Junction Box	○	Bush	○	Pneumatic Signal Line	
○	Sanitary Sewer Manhole	○	Fire Hydrant	○	Property Line	
○	Sanitary Cleanout	○	Water Meter	○	Right-of-Way Line	
○	Sanitary Lift Station	○	Water Valve	○	Railroad	
○		○	Sprinkler Head	○	Sanitary Sewer Line	
○		○	Sprinkler Valve/Box	○	Sanitary Service Line	
○		○	Post Indicator Valve	○	Section Line	
○		○	Yard Spigot/Hydrant	○	Slope	
○		○	Water Well/Cistern	○	Stone Wall	
		○		○	Storm Sewer	
		○		○	Stream	
		○		○	Tree Line	
		○		○	Underground Electric	
		○		○	Underground Telephone	
		○		○	Underground Cable TV	
		○		○	Water Line	

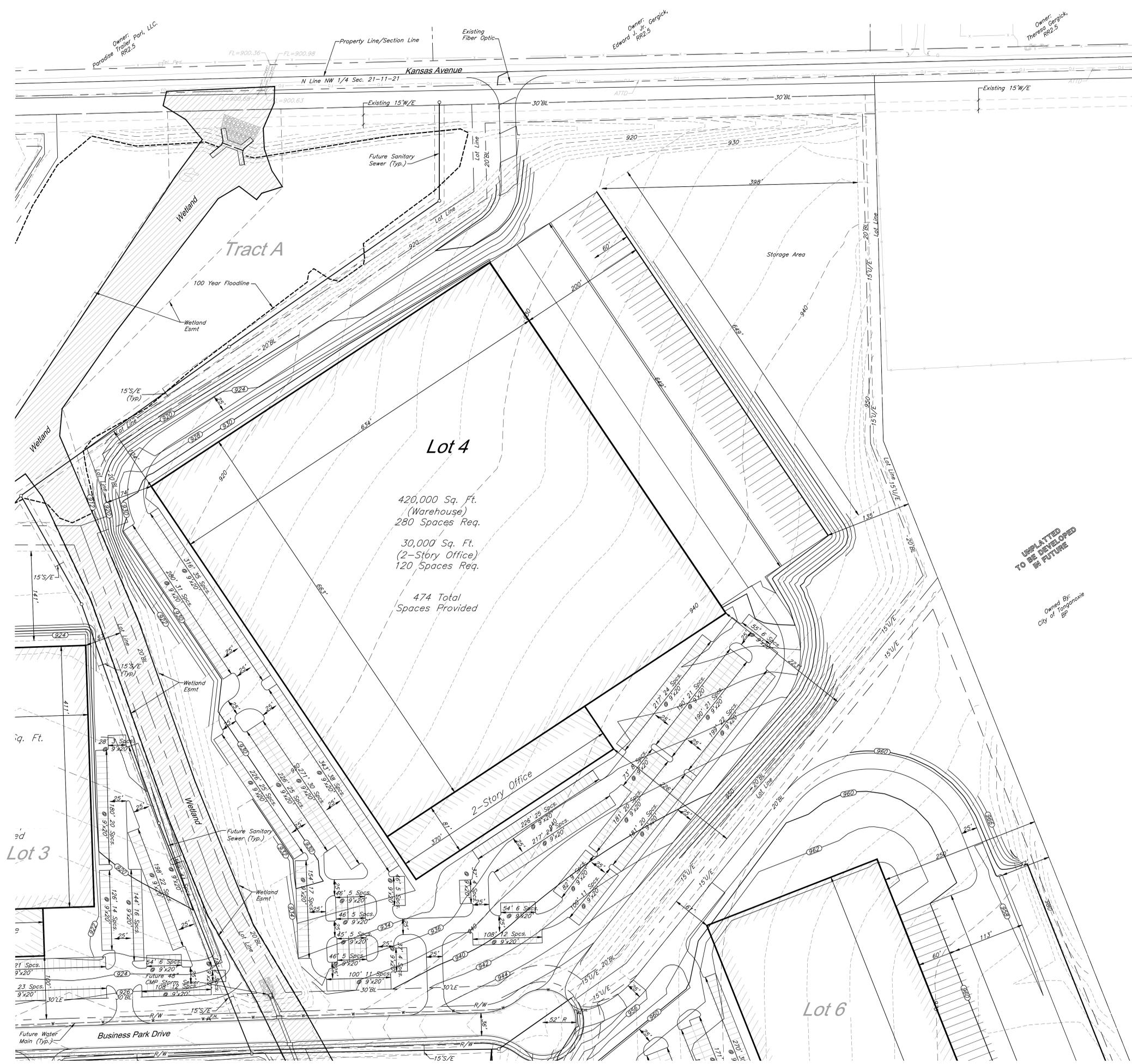


TONGANOXIE BUSINESS PARK
222nd STREET and KANSAS AVE
TONGANOXIE, KANSAS
LEAVENWORTH COUNTY, KS

PRELIMINARY DEVELOPMENT PLAN/PLAT FOR:

REV	DATE	DESCRIPTION

PROJECT NUMBER	13599.00
DATE	03/23/17
SUBMITTAL TITLE	
DESIGNED:	CEL/HTR
DRAWN:	GAN
REVIEWED:	
SHEET TITLE	General Layout
SHEET NUMBER	C2.00
© George Butler Associates, Inc.	2017



Lot 4
 420,000 Sq. Ft.
 (Warehouse)
 280 Spaces Req.
 30,000 Sq. Ft.
 (2-Story Office)
 120 Spaces Req.
 474 Total
 Spaces Provided

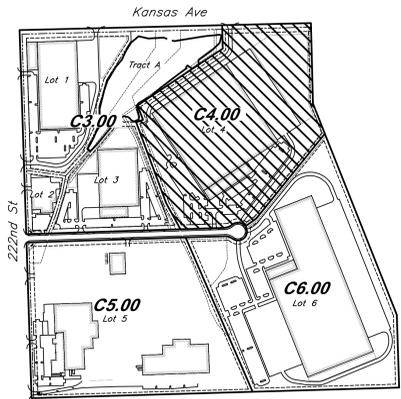
UNPLATTED
 TO BE DEVELOPED
 IN FUTURE
 Owned By:
 City of Tonganoxie
 BR

- Legend**
- BM Bench Mark
 - CP Control Point
 - BL Building Line
 - LE Landscape Easement
 - R/W Right-of-Way
 - S/E Sanitary Easement
 - U/E Utility Easement
 - W/E Water Easement

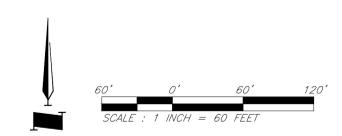
GBA
 architects
 engineers
 9801 Renner Boulevard
 Lenexa, Kansas 66219
 913.492.0400
 www.gbateam.com

PRELIMINARY DEVELOPMENT PLAN / PLAT FOR
TONGANOXIE BUSINESS PARK
 222nd STREET and KANSAS AVE
 TONGANOXIE, KANSAS
 LEAVENWORTH COUNTY, KS

REV	DATE	DESCRIPTION



Key Map
 NOT TO SCALE



PROJECT NUMBER
 13599.00
 DATE
 03/23/17
 SUBMITTAL TITLE
 DESIGNED: CEL/HTR
 DRAWN: GAN
 REVIEWED:
 SHEET TITLE
Site Plan (Lot 4)
 SHEET NUMBER
C4.00
 © George Butler Associates, Inc.
 2017



Lot 6

500,000 Sq. Ft.
(Warehouse)
333 Spaces Req.

30,000 Sq. Ft.
(2-Story Office)
120 Spaces Req.

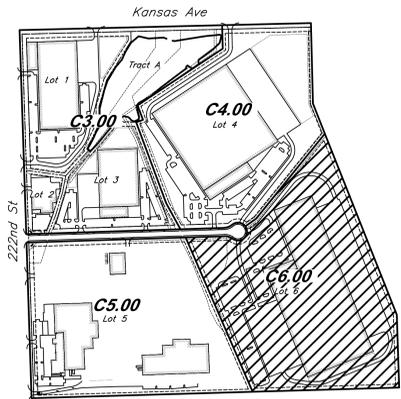
501 Total Spaces
Provided

UNPLATTED
TO BE DEVELOPED
IN FUTURE

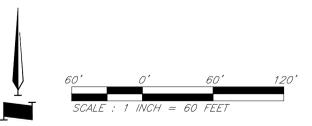
Owned By:
City of Tonganoxie
GP

Owner:
Tailgate Ranch Co.
RR5

- Legend**
- BM Bench Mark
 - CP Control Point
 - BL Building Line
 - LE Landscape Easement
 - R/W Right-of-Way
 - S/E Sanitary Easement
 - U/E Utility Easement
 - W/E Water Easement



Key Map
NOT TO SCALE



PRELIMINARY DEVELOPMENT PLAN/PLAT FOR:

TONGANOXIE BUSINESS PARK
222nd STREET and KANSAS AVE
TONGANOXIE, KANSAS
LEAVENWORTH COUNTY, KS

REV	DATE	DESCRIPTION

PROJECT NUMBER
13599.00

DATE
03/23/17

SUBMITTAL TITLE

DESIGNED: CEL/HTR

DRAWN: GAN

REVIEWED:

SHEET TITLE
Site Plan (Lot 6)

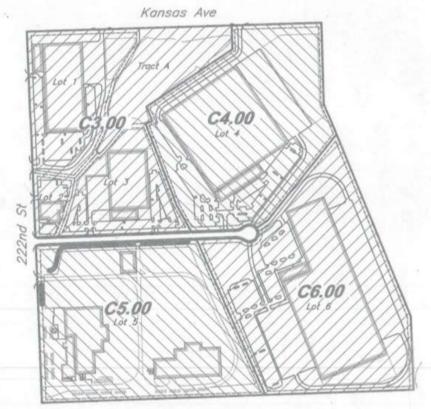
SHEET NUMBER
C6.00

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2017



LANDSCAPE ZONE LEGEND

- ① PERIMETER STREET FRONTAGE
- ② INTERIOR STREET FRONTAGE
- ③ WETLAND / RIPARIAN
- ④ UPLAND / RIPARIAN
- ⑤ PRAIRIE / PASTURE



Key Map
NOT TO SCALE

E Line NW 1/4 Sec. 21-11-21
W Line NE 1/4 Sec. 21-11-21

LANDSCAPE ZONE PLAN
3.22.17

wk urban design, LLC
Community & Town Planning | Urban Revitalization |
Arts & Park Design | Landscape Architecture
Wayne L. Kuehler AICP
1627 Blvd., Overland Park, KS 66204
913.481.8100 | wkurban@gmail.com



PRELIMINARY DEVELOPMENT PLAN / PLAT FOR:
TONGANOXIE BUSINESS PARK - PHASE 1
222nd STREET and KANSAS AVE
TONGANOXIE, KANSAS
LEAVENWORTH COUNTY, KS

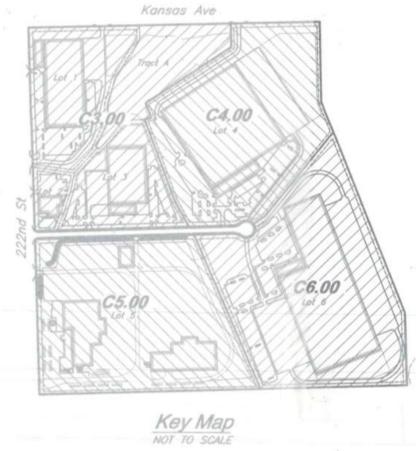
REV	DATE	DESCRIPTION

PROJECT NUMBER	13599.00
DATE	3.22.17
DESIGNED:	CEL/HTR
DRAWN:	GAN
REVIEWED:	
SHEET TITLE	LANDSCAPE ZONES
SHEET NUMBER	L.1



LANDSCAPE ZONE LEGEND

- ① PERIMETER STREET FRONTAGE
- ② INTERIOR STREET FRONTAGE
- ③ WETLAND / RIPARIAN
- ④ UPLAND / RIPARIAN
- ⑤ PRAIRIE / PASTURE



PRELIMINARY DEVELOPMENT PLAN / PLAT FOR

TONGANOXIE BUSINESS PARK - PHASE 1

222nd STREET and KANSAS AVE
TONGANOXIE, KANSAS
LEAVENWORTH COUNTY, KS

REV	DATE	DESCRIPTION

PROJECT NUMBER	13599.00
DATE	3.22.17
DESIGNED:	CEL/HTR
DRAWN:	GAN
REVIEWED:	
SHEET TITLE	LANDSCAPE + TREES
SHEET NUMBER	L.2

LANDSCAPE ZONE WITH STREET TREES
3.2217

w|k urban design, LLC
 Community & Town Planning | Urban Revitalization
 Amenity & Park Design | Landscape Architecture
 Wayne J. Korbholz AICP
 1417 Flax, Overland Park, KS 66202
 (913) 661-8610 | w|kurbandesign@gmail.com



BUSINESS PARK MONUMENT SIGN

TYPICAL STREET FRONTAGE LANDSCAPE

- Typical Street Tree Patterns with 5-9 trees of same species both sides of street, change species for diversity
- Street Trees at 40' O.C.
- Evergreen Trees at intersections
- Low Native Grasses at corners
- Low-Medium Native Grasses on earth berm along typical street frontage
- Mowed Lawn from base of berm to curb

Typical Street Tree Patterns with 5-9 trees of same species and then change species for diversity

Low - Medium Native Grasses on Earth Berm

Low Native Grasses in front of Monument Sign

MAIN ENTRY SIGN FEATURE

Evergreen Trees to frame intersection

Low - Medium Native Grasses on Earth Berm

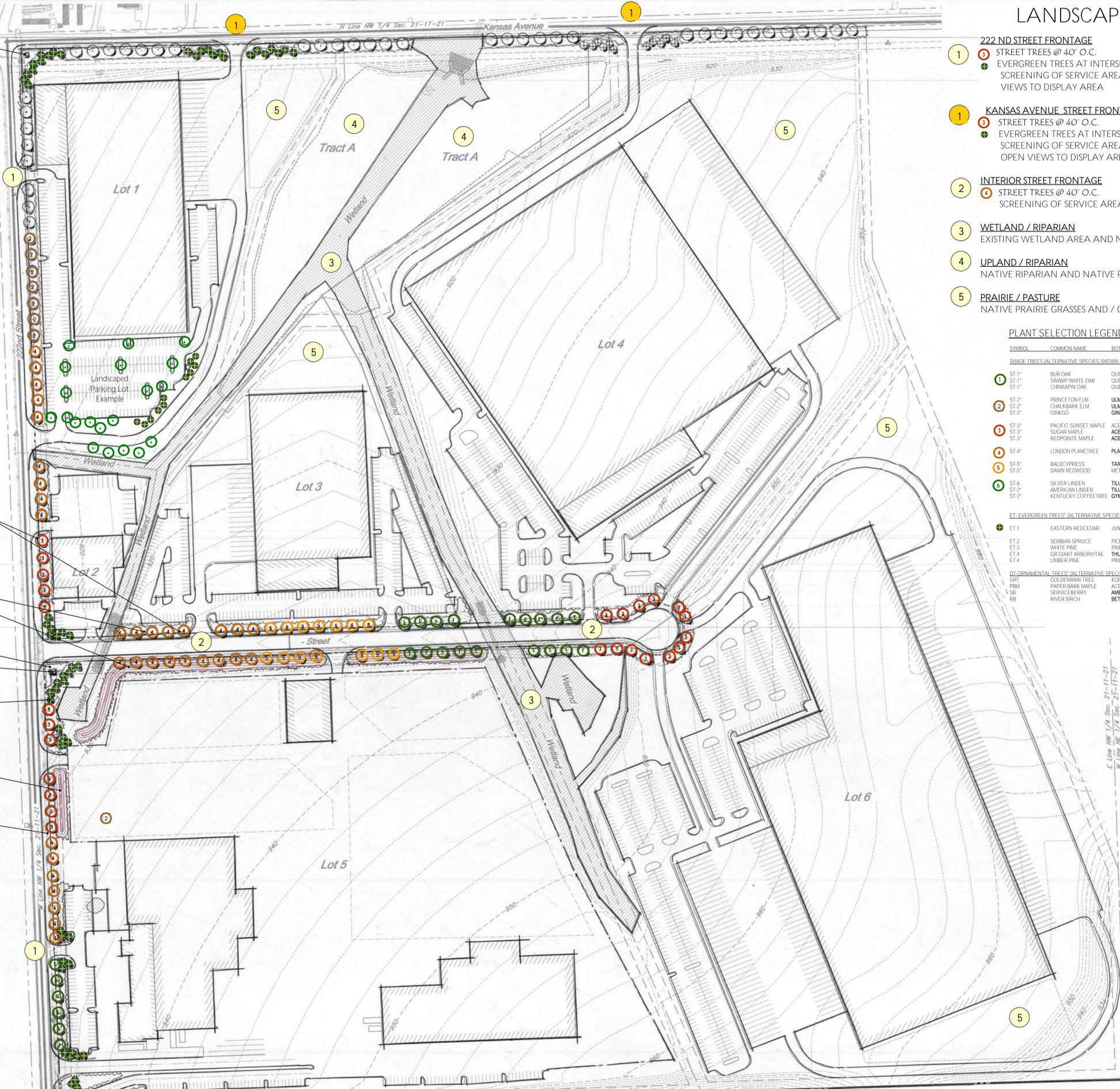
Mowed Lawn from base of berm to curb

LANDSCAPE LEGEND

- 1 222 ND STREET FRONTAGE**
 - STREET TREES @ 40' O.C.
 - EVERGREEN TREES AT INTERSECTIONS
 - SCREENING OF SERVICE AREAS AND PARKING VIEWS TO DISPLAY AREA
- 1 KANSAS AVENUE STREET FRONTAGE**
 - STREET TREES @ 40' O.C.
 - EVERGREEN TREES AT INTERSECTIONS
 - SCREENING OF SERVICE AREAS AND PARKING OPEN VIEWS TO DISPLAY AREA
- 2 INTERIOR STREET FRONTAGE**
 - STREET TREES @ 40' O.C.
 - SCREENING OF SERVICE AREAS AND PARKING
- 3 WETLAND / RIPARIAN**
 - EXISTING WETLAND AREA AND NATIVE PLANT MATERIALS TO REMAIN
- 4 UPLAND / RIPARIAN**
 - NATIVE RIPARIAN AND NATIVE PRAIRIE GRASSES
- 5 PRAIRIE / PASTURE**
 - NATIVE PRAIRIE GRASSES AND / OR PASTURE GRASSES

PLANT SELECTION LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE & NOTES
SHADE TREES (ALTERNATIVE SPECIES SHOWN BELOW)			
1	ST-1'	BUR OAK	QUERCUS MACROCARPA 2.5' CAL
	ST-1'	SWAMP WHITE OAK	QUERCUS BICOLOR 2.5' CAL
	ST-1'	CHINKAPIN OAK	QUERCUS MUEHLENBERGII 2.5' CAL
2	ST-2'	PRINCETON ELM	ULMUS AMERICANA 'PRINCETON' 2.5' CAL
	ST-2'	CHALKBARK ELM	ULMUS PROPIQUA 'EMERALD SUNSHINE' OR 'FRONTIER' 2.5' CAL
	ST-2'	GINKGO	GINKGO BILoba 'PRINCETON SENTRY' OR 'AUTUMN GOLD' 2.5' CAL
3	ST-3'	PACIFIC SUNSET MAPLE	ACER TRUNCATUM PLATANOIDES 2.5' CAL
	ST-3'	SUGAR MAPLE	ACER SACCHARUM 'FALL FIESTA', 'CADDO' OR 'JOHN PAIR' 2.5' CAL
	ST-3'	REDPOINTE MAPLE	ACER RUBRUM 'REDPOINTE' 2.5' CAL
4	ST-4'	LONDON PLANETREE	PLATANUS ACERIFOLIA 'EXCLAMATION' 2.5' CAL
5	ST-5'	BALDCYPRESS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE' 2.5' CAL
	ST-5'	DAWN REDWOOD	METASEQUOIA GLYPTOSTROBILIDES 2.5' CAL
6	ST-6'	SILVER LINDEN	TILIA TOMENTOSA 'STERLING' OR 'GREEN MOUNTAIN' 2.5' CAL
	ST-2'	AMERICAN LINDEN	TILIA AMERICANA 'LEGEND' OR 'GREEN MOUNTAIN' 2.5' CAL
	ST-2'	KENTUCKY COFFEETREE	GYNOCLEADUS DIOICUS 'EXPRESSO' 2.5' CAL
ET EVERGREEN TREES (ALTERNATIVE SPECIES SHOWN BELOW)			
ET-1	ET-1	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 6-7 HT
ET-2	ET-2	SERBIAN SPRUCE	PICEA AMORICA 6-7 HT
ET-3	ET-3	WHITE PINE	PINUS STROBUS 6-7 HT
ET-4	ET-4	GR GIANT ARBORVITAE	THUJA PLICATA X 'GREEN GIANT' 6-7 HT
	ET-4	LIMBER PINE	PINUS FLEXILIS 6-7 HT
OT ORNAMENTAL TREES (ALTERNATIVE SPECIES SHOWN BELOW)			
OT-1	OT-1	GOLDENRAIN TREE	KOELERUTHERIA PANICULATA 8-10' HT
OT-2	OT-2	PAPER BARK MAPLE	ACER GRSELIUM 8-10' HT
OT-3	OT-3	SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' 8-10' HT
OT-4	OT-4	RIVER BIRCH	BETULA NIGRA 'HERITAGE' 8-10' HT



STREET FRONTAGE LANDSCAPE PLAN

wk urban design, LLC
 Community & Town Planning | Urban Revitalization
 Annuity & Park Design | Landscape Architecture
 1437 Flint, Overland Park, KS 66204
 913-481-8800 | wkurban@gmail.com

GBA
 architects
 engineers
 9801 Renner Boulevard
 Lenexa, Kansas 66219
 913.492.0400
 www.gbateam.com

TONGANOXIE BUSINESS PARK - PHASE 1
 222nd STREET and KANSAS AVE
 TONGANOXIE, KANSAS
 LEAVENWORTH COUNTY, KS

PRELIMINARY DEVELOPMENT PLAN / PLAT FOR

REV	DATE	DESCRIPTION

PROJECT NUMBER
13599.00

DATE
3.22.17

DESIGNED: CEL/HTR
 DRAWN: GAN
 REVIEWED: [Signature]

STREET FRONTAGE PLAN

SHEET NUMBER
L.3

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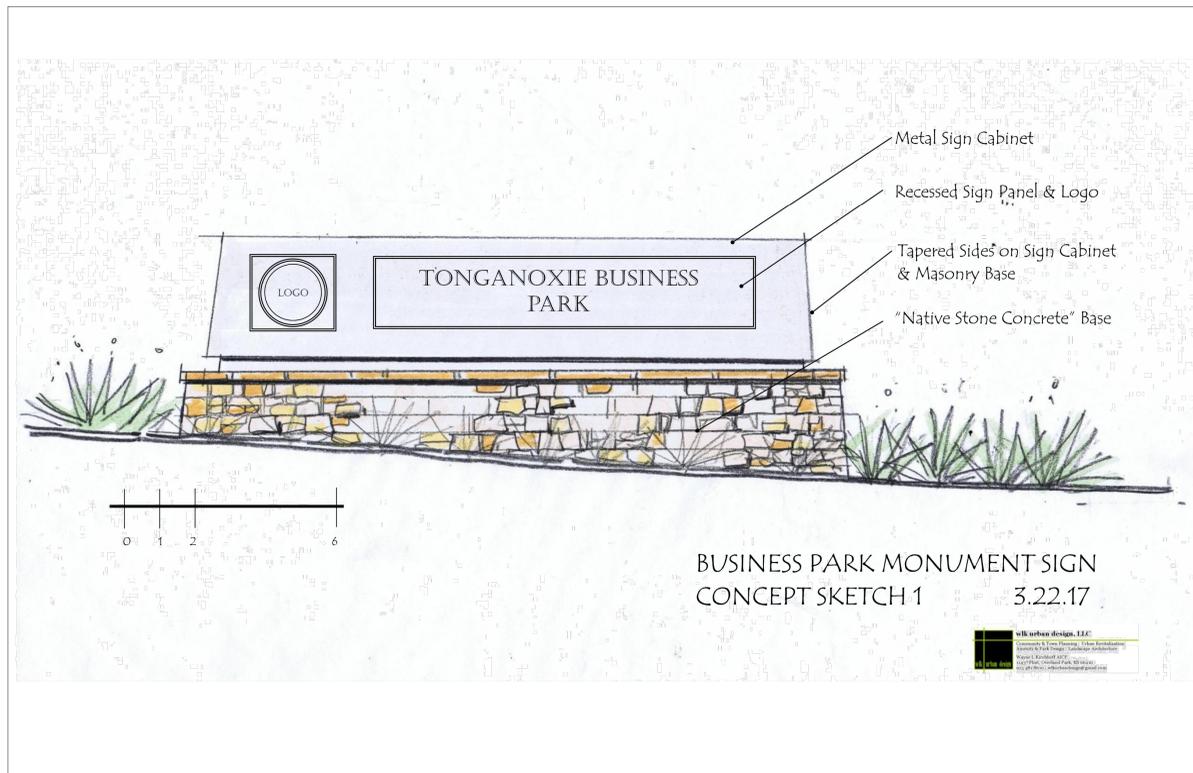
REV	DATE	DESCRIPTION

PROJECT NUMBER
13599.00
DATE
03/23/17
SUBMITTAL TITLE

DESIGNED: CEL/HTR
DRAWN: GAN
REVIEWED:

SHEET TITLE

SHEET NUMBER
L4.00



Entry View - Low Angle



Street Cross Section View In



Street Cross Section View Out



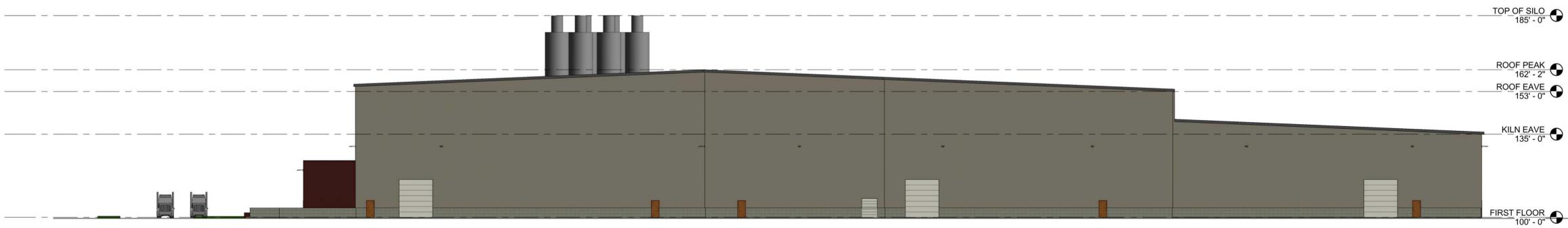
Berm - Close Up



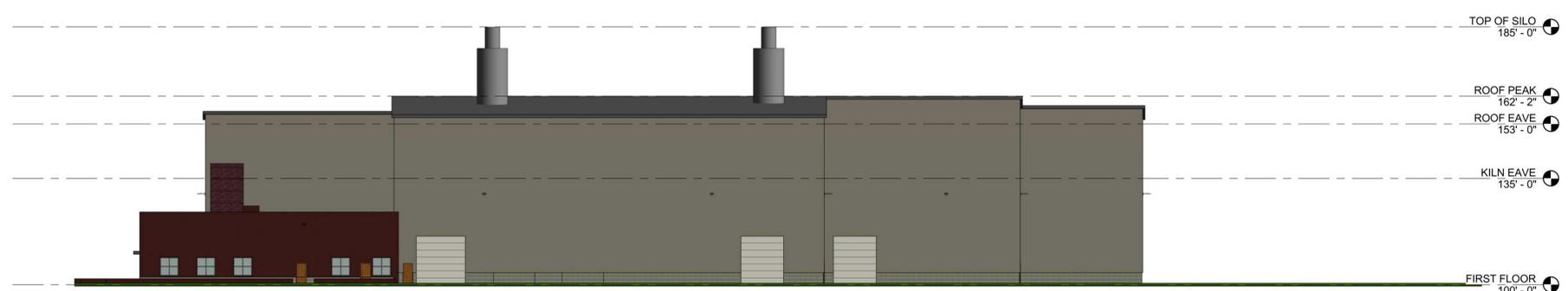
Parking Lot Bird's Eye View



Entry Bird's Eye View



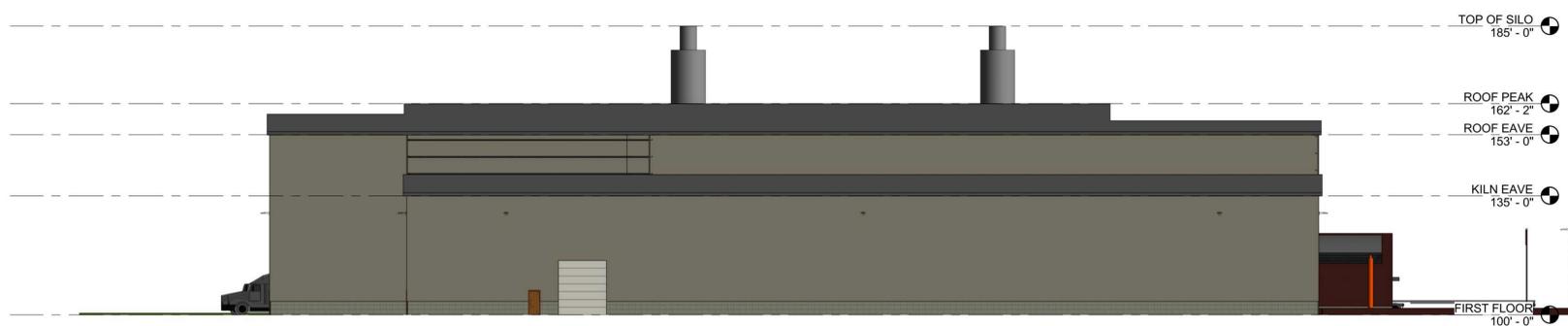
OFFICE AND PLANT FUTURE PHASE



OFFICE AND PLANT FUTURE PHASE



OFFICE AND PLANT FUTURE PHASE



OFFICE AND PLANT FUTURE PHASE

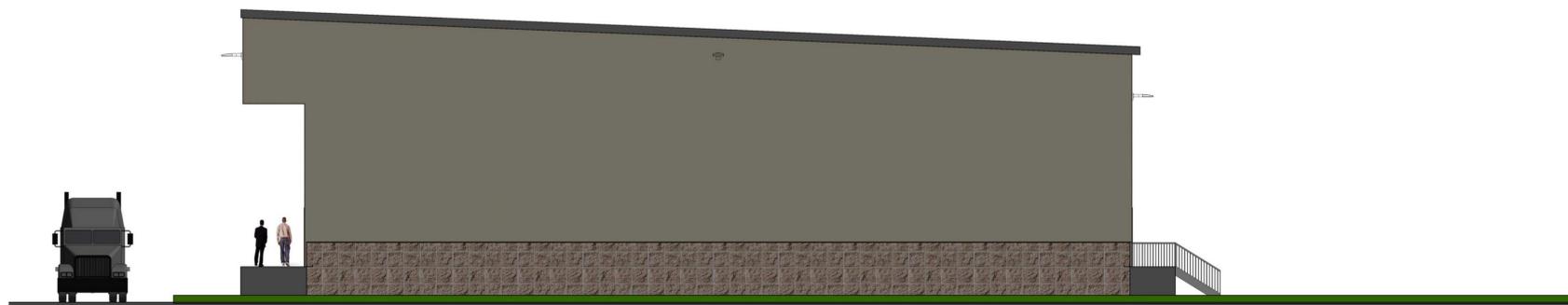
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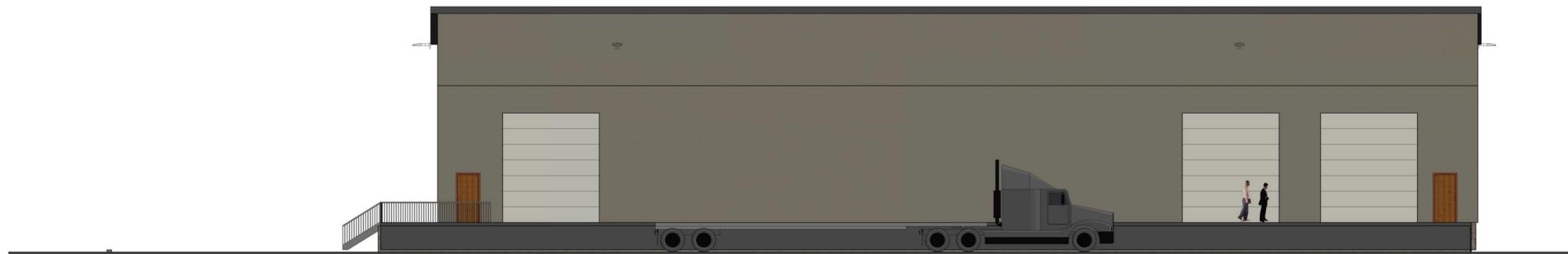
CHECK OUT / STORAGE BUILDING - PHASE 1



CHECK OUT / STORAGE - PHASE 1



CHECK OUT / STORAGE - PHASE 1



CHECK OUT / STORAGE - PHASE ONE

REV	DATE	DESCRIPTION

PROJECT NUMBER
13599.00

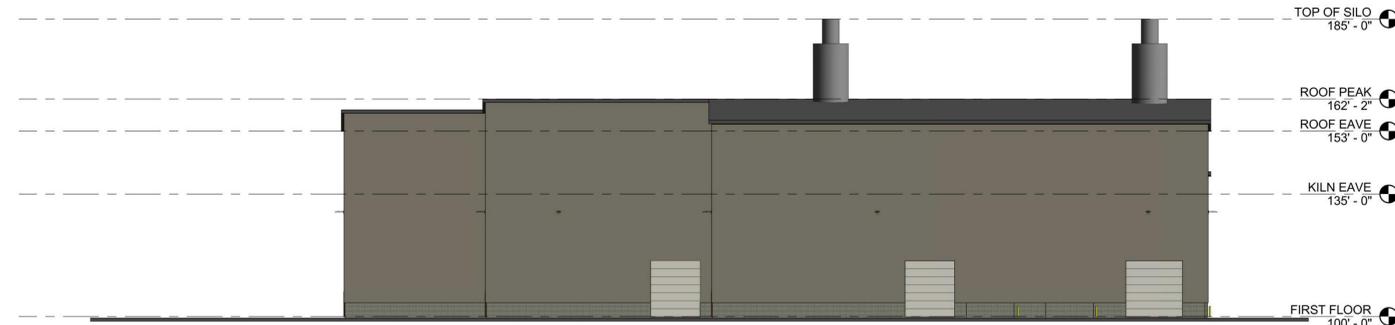
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SUBMITTAL TITLE

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DRAWN: GAN
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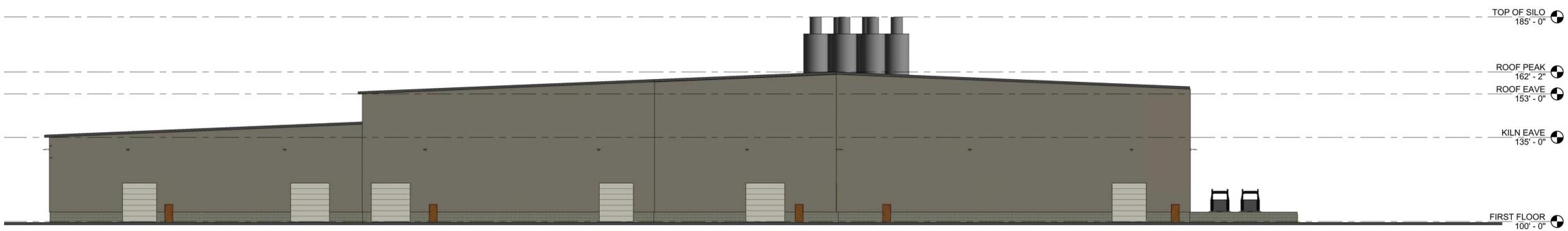
SHEET TITLE
Typical Building Elevations

SHEET NUMBER

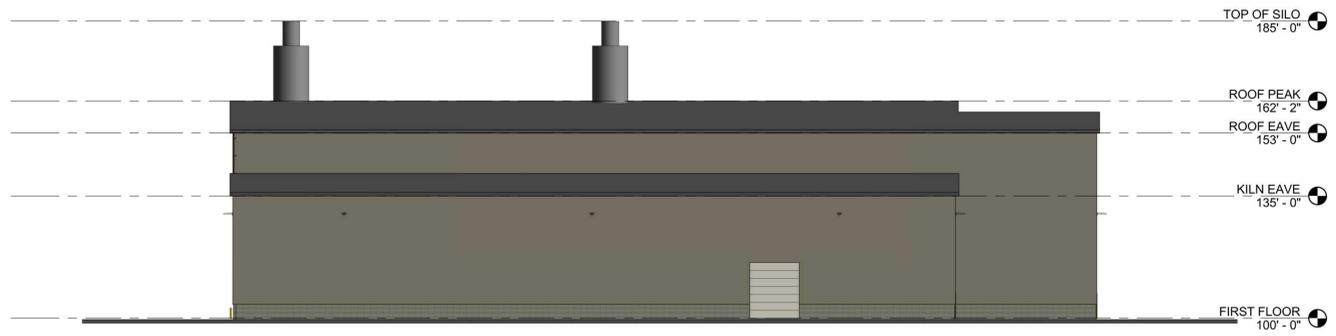
A2.00



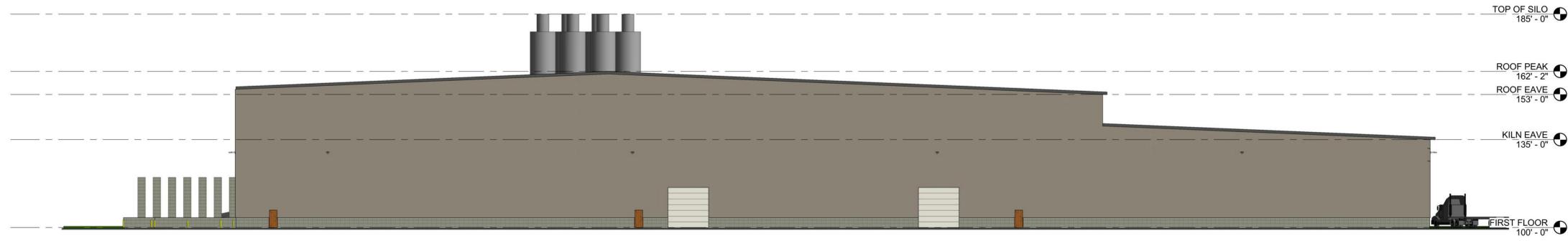
PLANT 2 AND 3 - FUTURE PHASE



PLANT 2 AND 3 - FUTURE PHASE



PLANT 2 AND 3 - FUTURE PHASE



PLANT 2 AND 3 - FUTURE PHASE

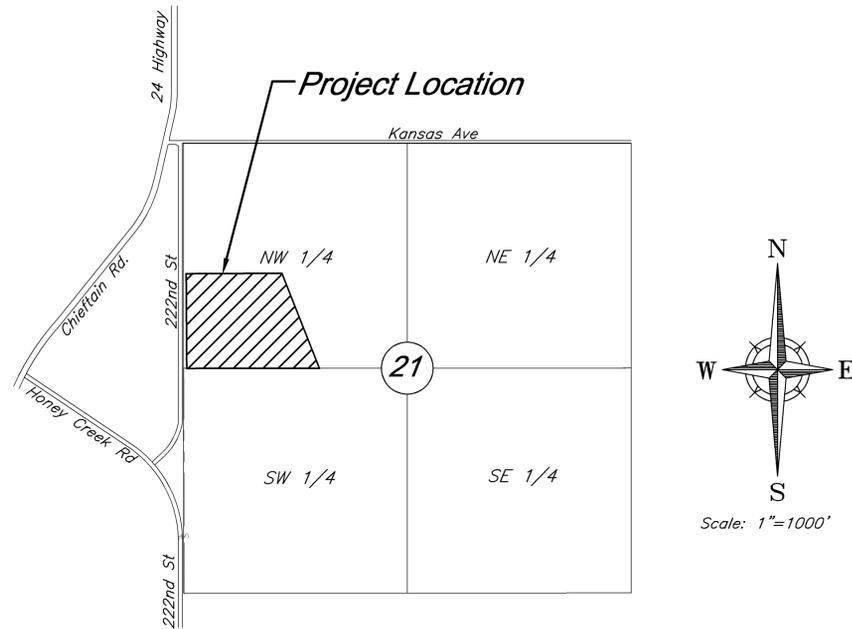
REV	DATE	DESCRIPTION

FINAL DEVELOPMENT PLAN FOR TONGANOXIE BUSINESS PARK

Sections 21-Township 11S-Range 21E
City of Tonganoxie
Leavenworth County, Kansas

GBA
architects
engineers

9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com



VICINITY MAP
Section 21-T11S-R21E

Sht. No.	Description
C1.00	Cover Sheet
C2.00	General Layout
C3.00	Grading Plan
C4.00	Dimension Plan
C5.00	Utility Plan
C6.00	Storm Sewer Profiles
C7.00	Drainage Map & Calculations
C8.00	Construction Details
C9.00	Erosion Control Plan
C10.00	Erosion Control Details
L1.00	Landscape Plan
L2.00	Landscape Details
A1.20	Architectural Elevations

Parking Space Calculations

	Required	Provided
ADA	1	1
STANDARD	2	7
TOTALS	3	8

BUILDING USE REQUIRES:
1 space for every 1000 gross S.F. of Building or one space for every 2 employees

PROPOSED USE:
Total Facility (@ Phs. 1 Build Out) = 16,720 S.F. +/-

Survey Control:

Coordinates Shown Hereon:

Modified State Plane (Project Ground Coordinates), NAD83
1501 - Kansas North, U.S. Feet
Vertical - NAVD88, U.S. Feet

0.99991631
To get to State Plane:
Coordinates x CAF = State Plane

CP #100 - Set 1/2" Rebar with GBA cap, West side of 222nd Street across from E of field entrance to the East, approximately 1,940' ± South of Kansas Ave.

Coordinates:
N: 286009.99
E: 2137408.34
EL: 928.27'

CP #101 - Set 1/2" Rebar with GBA cap, West side of 222nd Street 48' North of CMP under 222nd, approximately 975' ± South of Kansas Ave.

Coordinates:
N: 286977.93
E: 2137377.62
EL: 924.24'

BM #2 - Set Railroad spike in West face of power pole, East side 222nd Street, 2nd pole South of Kansas Ave. Coordinates:
N: 287586.68
E: 2137395.19
EL: 929.01'

BM #3 - Set Railroad spike in East face of power pole, East side 222nd Street, 5th pole North of drive for House # 16680

Coordinates:
N: 285529.67
E: 2137463.13
EL: 933.70'

BM #5 - Chiseled "I" Top SE corner of the North concrete base of cattle crossing at entrance to cell tower site, South side of Kansas Ave., 3000' East of 222nd Street

Coordinates:
N: 287972.97
E: 2140140.44
EL: 973.54'

BM #6 - Set Railroad spike in North face of power pole, South side of Kansas Ave., 1st pole East of drive for House #21610

Coordinates:
N: 288023.16
E: 2141311.44
EL: 902.76'

Property Description:

Lot 5, TONGANOXIE BUSINESS PARK, a subdivision of land in the City of Tonganoxie, Leavenworth County, Kansas.

Floodplain:

The Site lies within Zone X, as areas of 0.2% annual chance floodplain. Per FEMA Map Number 20103C325G, dated July 16, 2015.

Zoning:

Existing Zoning is "BP" Business Park

Utility Contacts:

Sanitary Sewers and Water:	Mr. Kent Heskett City of Tonganoxie 15368 E. 4th Street Tonganoxie, KS 66086 (913) 845-2640	Gas:	Mr. David Teefey Kansas Gas Service 11401 W. 89th Street Overland Park, KS 66214 (913) 599-8933
Telephone, Cable TV, and Fiber:	Mr. Scott Smidt Midco 3901 N Louise Avenue Sioux Falls, SD 57107 (605) 357-5899	Electric Service:	Mr. Mark Gettys Westar Energy 818 Kansas Avenue Topeka, KS 66612 (913) 704-7119

Kansas One Call 811

UNILOCK
 LOCATION
 Tonganoxie, Leavenworth County
 Kansas 66048

FINAL DEVELOPMENT PLAN FOR:

REVISION

PROJECT NUMBER
13599.00

DATE
03/23/2017

DESIGNED
HTR

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GAN

REVIEWED
CEL

SHEET TITLE

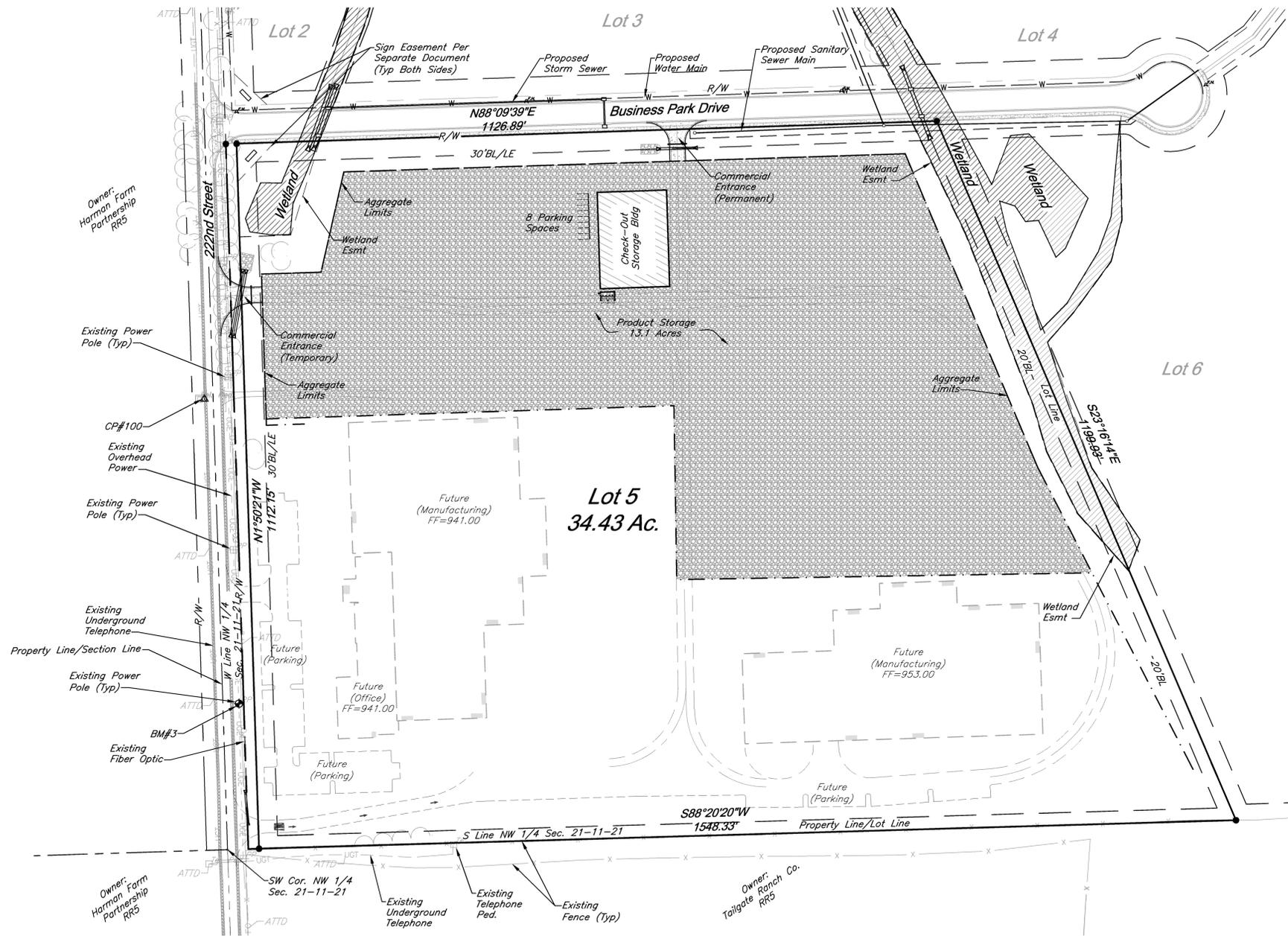
Cover Sheet

SHEET NUMBER

C1.00

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4-26-17
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Legend

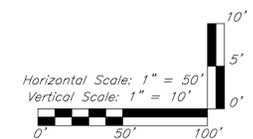
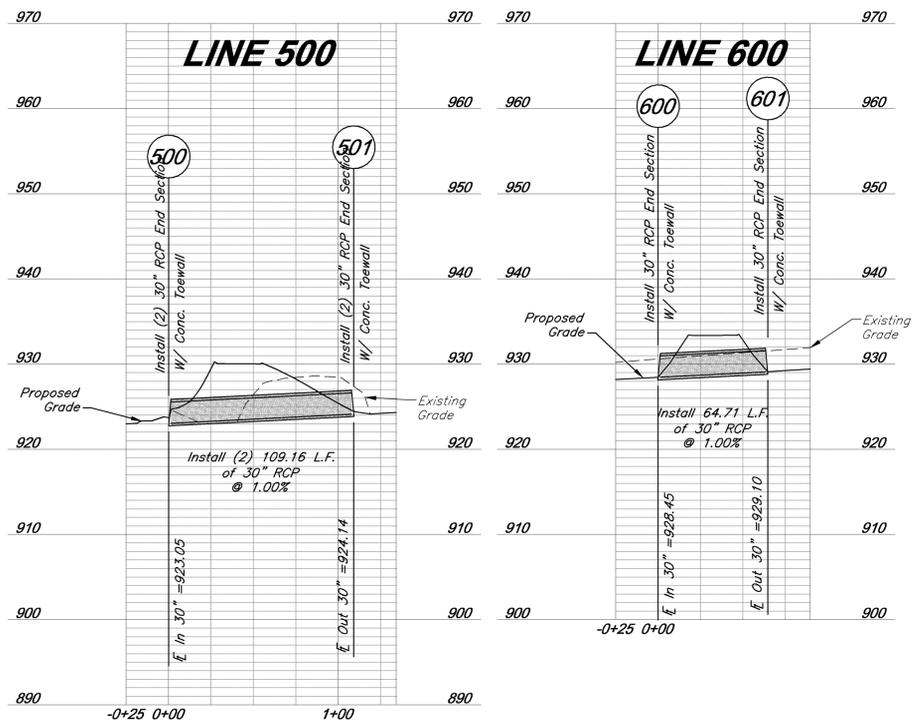
BM	Bench Mark
CP	Control Point
BL	Building Line
LE	Landscape Easement
R/W	Right-of-Way
S/E	Sanitary Easement
W/E	Water Easement
[Symbol]	Aggregate
[Symbol]	Temporary Construction Entrance (ESC-01)
[Symbol]	Drainage Area
[Symbol]	Drainage Arrows
[Symbol]	Limits of Disturbance
[Symbol]	Sediment Fence
[Symbol]	Existing Wetlands
[Symbol]	Future Building
[Symbol]	Proposed Building
[Symbol]	Boundary Line
[Symbol]	Water Line
[Symbol]	Existing Contours
[Symbol]	Proposed Contours
[Symbol]	Fire Hydrant
[Symbol]	Building Setback Line
[Symbol]	Rock Shoulder
[Symbol]	Power Pole
[Symbol]	Telephone Pedestal
[Symbol]	Fiber Optic Line
[Symbol]	Over Head Electric
[Symbol]	Over Head Telephone
[Symbol]	Over Head Cable TV
[Symbol]	Tree Line
[Symbol]	Underground Electric
[Symbol]	Underground Telephone
[Symbol]	Underground Cable TV
[Symbol]	Fence

General Notes

- The construction covered by these plans shall conform to the current "City Standards" and "Specifications" of the City Planning and Development and Public Works Departments, Tonganoxie, Kansas, except as noted.
- It shall be the Contractors responsibility to have one copy of these approved plans and the most current city standards and specifications on the job site at all times.
- The Contractor shall be responsible for obtaining all required permits, including right-of-way permits, paying all fees and for otherwise complying with all applicable regulations governing the work.
- Prior to commencing work, the Contractor, by his own investigation, is to satisfy himself as to the surface and subsurface conditions to be encountered.
- Prior to commencement of work, the Contractor is to notify all those companies which have facilities in the vicinity of the construction to be performed.
- The Contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the Contractor's expense.
- Demolition, clearing, and grubbing operations and disposal of all debris is to be performed by the Contractor in strict accordance with all local codes and ordinances.
- All waste material is to be disposed of off-site by the Contractor.
- The Contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest City Standards and to the City's satisfaction. All disturbed area within the right-of-way shall be sodded.
- The locations of existing underground utilities are taken from utility company records. They are approximate and have not been field verified. The Contractor is to determine the exact location of all existing utilities before commencing work and agrees to be fully responsible for any and all damages which might result from his failure to do so.
- The Contractor is to coordinate the relocation of any utilities that may be encountered prior to the start of construction.
- All manholes, catch basins, utility valves and meter pits are to be adjusted or rebuilt to proposed grades as required.
- All traffic signage, barricades, drum, pavement markings, and other traffic control devices shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (M.U.T.C.D.).
- The contractor is responsible for locating all utilities in area prior to beginning work.
- Clearing and Grubbing - Contractor shall be responsible for removing and disposing of any grasses and vegetation that may be found on the site at this time. Contractor shall strip site of all organic material to a depth acceptable to the geotechnical engineer and prior to the placement of any fill. Said grading shall be only as necessary to accomplish grading operations set forth in these plans. Clearing and grubbing operations and disposal of all local codes and ordinances. All trees, and debris from the work shall be completely removed from the site by the contractor.
- Topsoil Stripping and Stockpiling - Contractor shall strip and stockpile topsoil at a location that is mutually agreeable with the engineer. Also, any underground utilities that bisect the stockpile area(s) shall be installed prior to placement of any topsoil. Erosion control measures around the stockpiles shall be installed concurrently with topsoil placement. As each pile reaches final grade it shall be seeded and mulched. Topsoil to be spread evenly over finished grade.
- Contractor shall notify engineer in the event any existing water wells are discovered during the course of demolition. Contractor shall close any encountered existing well(s) in accordance with local or KDHE Requirements.
- Slopes - Slopes shall be graded at a maximum slope of 3:1 (Horiz.: Vert).
- General Excavation - All Temporary Slopes and Excavations should conform to Occupational Safety and Health Administration (OSHA) Standards for the Construction Industry (29 CFR Part 1026, Subpart P).

- Erosion Control - The Contractor shall be responsible for control of surface erosion during construction and until the Owner accepts the work as complete. The Contractor shall install and maintain the erosion control measures shown in these plans. Additional erosion control measures may be required to control erosion. This Contractor is responsible to use whatever methods are required to control erosion. The contractor is responsible for providing berms, silt fences, gravel bags, straw bales, or other means to prevent erosion from reaching the public right-of-ways. In event the prevention measures are not effective, the contractor shall remove any debris and restore the right-of-way to original or better condition.
- Cut/Fill - All fills are to be made with suitable structural fill material in accordance with the project's geotechnical engineering report recommendations.
- Contractor shall work with the owner and/or his representative to save trees where possible.
- Construction Staking - Construction staking will be paid for by the Contractor.
- Soils Report - A "Geotechnical Engineering Report" has been completed by Terracon Consultants Inc. (Dated November 22, 2016 - Terracon Project #02165345) ALL grading operations shall conform to the findings and recommendations noted within the soils report. A copy of the final site soils report and all boring logs will be available for review prior to the commencement of construction. The soils information shown in this set of plans has been provided by Terracon. George Butler Associates, Inc. is not responsible for the adequacy or accuracy of the soils information shown or provided. It is provided for informational purposes only. The content of these plans may change based on recommendations found in the final geo-technical report.
- The Contractor is responsible for providing erosion and sediment control BMP's to prevent sediment from reaching paved areas, storm sewer systems, drainage courses, and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the Right-of-Way, or adjacent properties to original or better condition.
- Contacto shall ensure that all construction shall conform to the requirements of the projects Stormwater Pollution Prevention Plan (SWPPP) a copy of which shall be maintained and updated on site by the Contractor.

- Contractor is responsible for Good housekeeping, including spill response shall be performed in accordance with the Kansas City Chapter of the American Public Works Association Standard Specifications, Section 2150.
- Inspection and maintenance of the sediment and erosion control BMPs shall be per the project SWPPP, but at a minimum shall be once every 7 days or within 24 hours of a precipitation event of 0.5 inches or greater. Records of inspections shall be kept with the project SWPPP.
- 404 Permitting - No impacts shall be made to the designated wetland areas until 404 permit is obtained by the owner.
- Trees, where indicated to be removed, shall be completely removed, including root balls.
- At the contractors option, trees may be mulched on site and used as mulch berms in lieu of sediment fence or straw wattles.
- The Contractor shall request a pre-construction meeting with City Staff prior to construction and shall provide a proposed construction schedule to City Staff.
- The Contractor shall coordinate construction observation with City Staff.
- All measurements on these plans are horizontal distances, not slope distances.
- All site concrete shall be KCMMB - 4,000 PSI unless otherwise noted.
- All Utility extensions and construction shall conform to the Standards and Specifications of the applicable Utility Companies.
- All RCP shall be Class III.
- Pipe Lengths are called out from center of structure to center of structure.
- Drainage across the project site during construction shall be the Contractor's responsibility. Surface drainage shall be controlled to reduce or prevent the flow of surface water onto adjacent grounds. Contractor shall control downstream erosion and silt during construction. Flexibility is given to the Contractor to make minor grading revisions along roads or between building pads to improve drainage during construction, with prior approval of the engineer.
- Prior to ordering precast storm sewer structures, Contractor shall provide shop drawings to the Engineer for review and approval.



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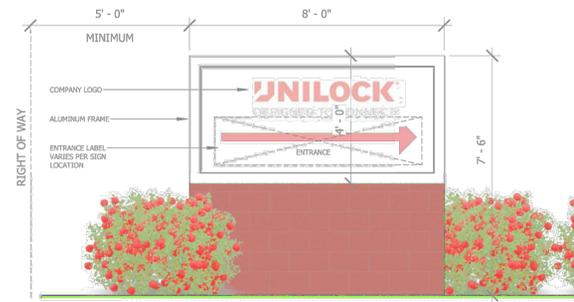
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SHEET TITLE

Storm Sewer Profiles

SHEET NUMBER
C6.00

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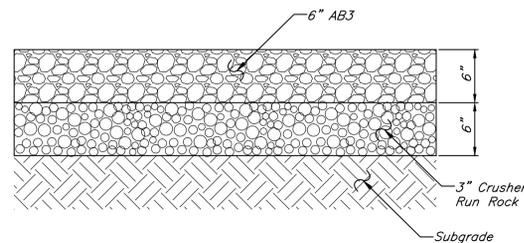
TYPICAL FREESTANDING DIRECTIONAL SIGN

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TYPICAL BUILDING SIGNAGE

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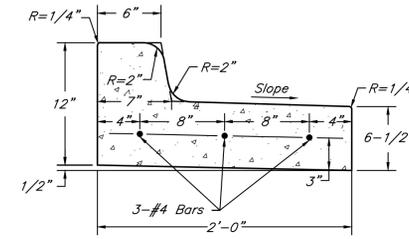


AGGREGATE SECTION

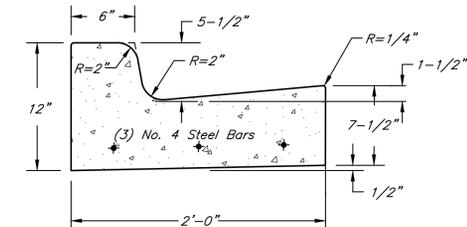
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NOTES:

- 1/2" Premolded expansion joints shall be placed at points of curvature, curb returns, curb inlets, and at 250' centers. Contraction joint shall be 2" deep, and placed at 15' intervals equally spaced between expansion joints.
- KCMMB 4K concrete shall be used unless otherwise noted.



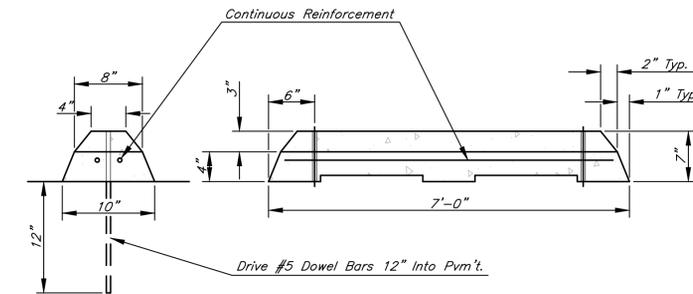
TYPE "B" DRY CURB



TYPE "B" CURB

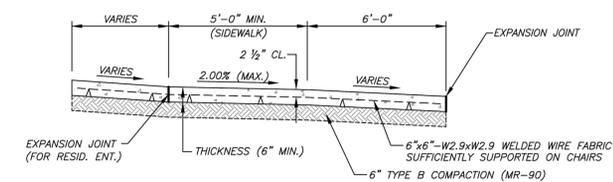
CONCRETE CURB AND GUTTER

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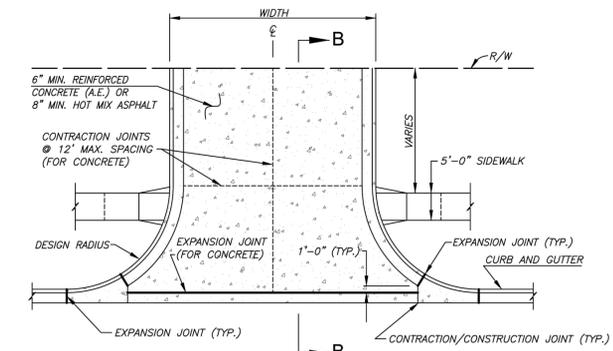
PRECAST CONCRETE STOP BLOCK

NOT TO SCALE



SECTION B-B

NOT TO SCALE



COMMERCIAL ENTRANCE

NOT TO SCALE

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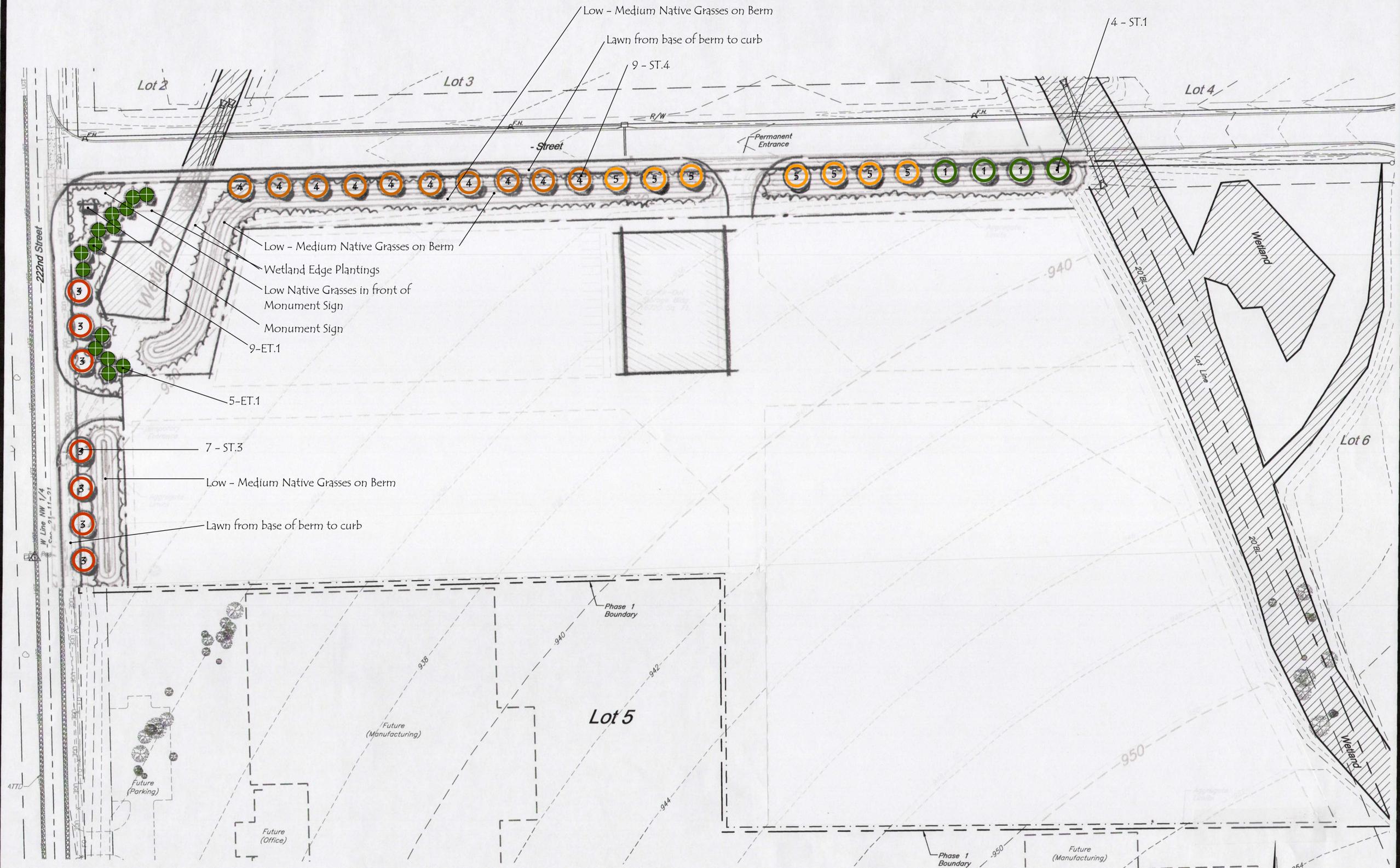
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Details*

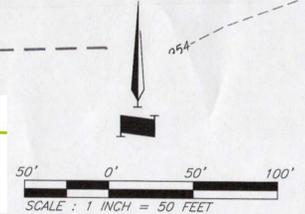
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wlk urban design, LLC
Community & Town Planning | Urban Revitalization |
Amenity & Park Design | Landscape Architecture
Wayne L. Kirehloff AICP
11437 Flint, Overland Park, KS 66210
913-481-8610 | wlkurbandesign@gmail.com



PLANT SELECTION LIST

SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	SIZE & NOTES
SHADE TREES (ALTERNATIVE SPECIES SHOWN BELOW)				
ST-1*	4	BUR OAK	QUERCUS MACROCARPA	2.5" CAL. (*ONE VARIETY IN GROUPS-BEST UNIFORM SPECIMANS)
ST-1*		SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.
ST-1*		CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2.5" CAL.
ST-2*		PRINCETON ELM	ULMUS AMERICANA 'PRINCETON'	2.5" CAL. (*ONE VARIETY IN GROUPS-BEST UNIFORM SPECIMANS)
ST-2*		CHALKBARK ELM	ULMUS PROPINQUA 'EMERALD SUNSHINE' OR 'FRONTIER'	2.5" CAL.
ST-2*		GINKGO	GINKGO BILOBA 'PRINCETON SENTRY OR AUTUMN GOLD'	2.5" CAL.
ST-3*	7	PACIFIC SUNSET MAPLE	ACER TRUNCATUM PLATANOIDES	2.5" CAL. (*ONE VARIETY IN GROUPS-BEST UNIFORM SPECIMANS)
ST-3*		SUGAR MAPLE	ACER SACCHARUM 'FALL FIESTA', 'CADDO' OR 'JOHN PAIR'	2.5" CAL.
ST-3*		REDPOINTE MAPLE	ACER RUBRUM 'REDPOINTE'	2.5" CAL.
ST-4*	9	LONDON PLANETREE	PLATANUS ACERIFOLIA 'EXCLAMATION'	2.5" CAL. (*ONE VARIETY IN GROUPS-BEST UNIFORM SPECIMANS)
ST-5*	7	BALDYPRESS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	2.5" CAL. (*ONE VARIETY IN GROUPS-BEST UNIFORM SPECIMANS)
ST-5*		DAWN REDWOOD	METASEQUIOA GLYPTOSTROBODES	2.5" CAL.

SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	SIZE & NOTES
ET- EVERGREEN TREES* (ALTERNATIVE SPECIES SHOWN BELOW)				
ET.1	14	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	6-7' HT.
ET.2		SERBIAN SPRUCE	PICEA AMORICA	6-7' HT.
ET.2		WHITE PINE	PINUS STROBUS	6-7' HT.
ET.3		GR. GIANT ARBORVITAE	THUJA PLICATA X 'GREEN GIANT'	6-7' HT.
ET.3		LIMBER PINE	PINUS FLEXILIS	6-7' HT.

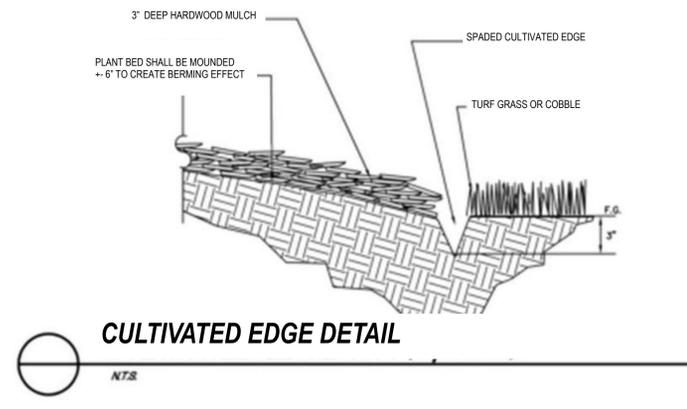
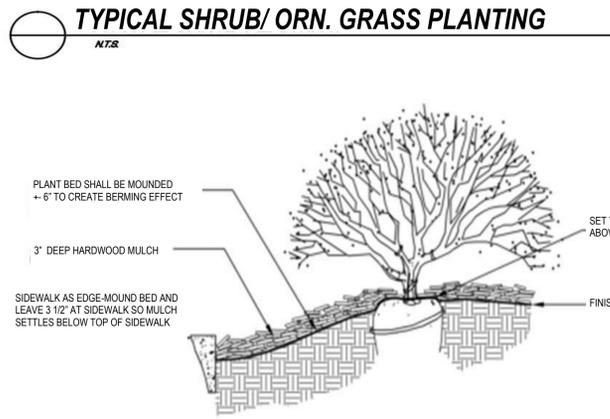
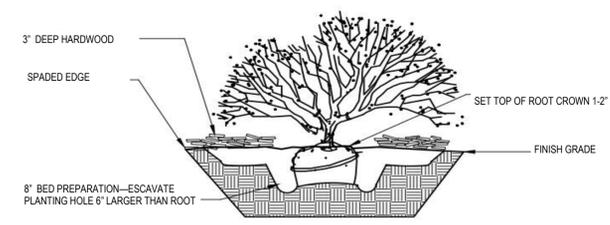
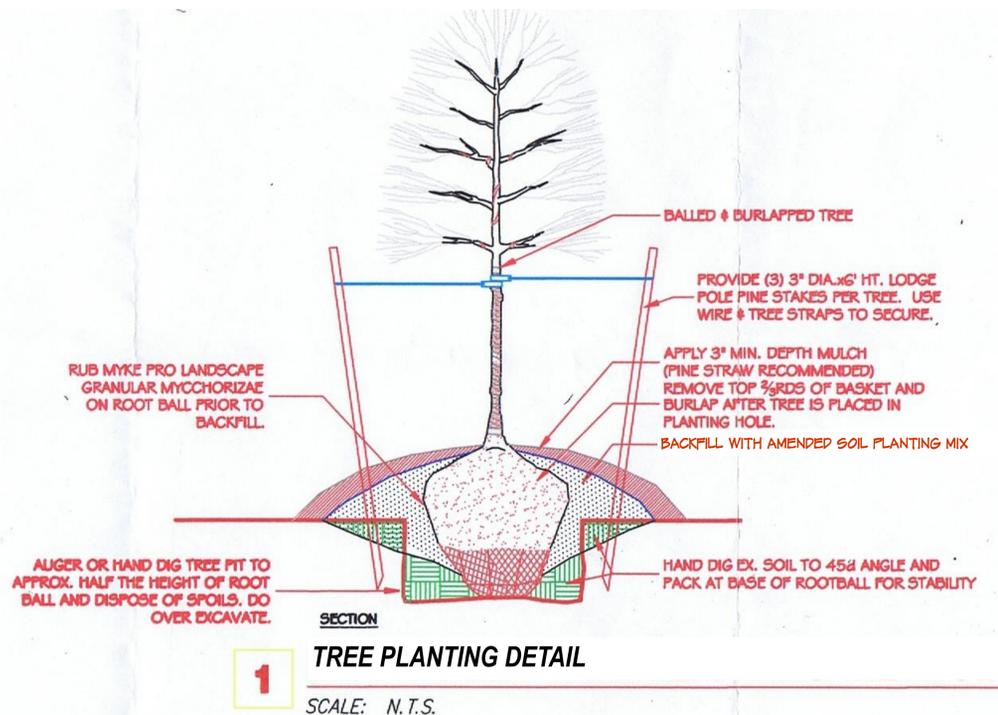
SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	SIZE & NOTES
OT-ORNAMENTAL TREES* (ALTERNATIVE SPECIES SHOWN BELOW)				
GRT		GOLDENRAIN TREE	KOELREUTERIA PANICULATA	8'-10' HT.
PBM		PAPER BARK MAPLE	ACER GRISEUM	8'-10' HT.
SB		SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	8'-10' HT. MULTI-STEM
RB		RIVER BIRCH	BETULA NIGRA 'HERITAGE'	8'-10' HT. MULTI-STEM
RDB		REDBUD	CERCIS CANADENSIS	8'-10' HT.

SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	SIZE & NOTES
NATIVE GRASS BEDS (OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINERS DEPENDING ON LOCATION)				
LOW-MEDIUM NATIVE GRASS #1 (VARIETY OR MIXED VARIETIES SUBJECT TO LOCATION)				
BG		BLUE GRAMA	BOUTELOUA GRACILIS	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
SOG		SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
PDS		PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
LBS		LITTLE BLUE STEM	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
MEDIUM NATIVE GRASS #2 (VARIETY OR MIXED VARIETIES SUBJECT TO LOCATION)				
NWSG		NO. WIND SWITCHGRASS	PANICUM VIRGATUM 'NORTHWIND'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
SSG		SHEN. SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
FRG		FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
EDGE OF WETLAND NATIVE GRASS #3 (VARIETY OR MIXED VARIETIES SUBJECT TO LOCATION)				
HMSG		H METAL SWITCHGRASS	PANICUM VIRGATUM 'HEAVY METAL'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
SR		SOFT RUSH	JUNCUS EFFUSES	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER
SR		SOFT RUSH	JUNCUS INFLEXUS 'BLUE ARROWS' OR 'BLUE MOHAWK'	OPTION TO SEED AND PLUG OR INSTALL #1 CONTAINER

*Note: Additional grasses to be added to mix. Grasses shown are example

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FIRST CLASS REPRESENTATIVES OF SPECIFIED SPECIES, VARIETY OR CULTIVAR, IN HEALTHY CONDITION WITH NORMAL WELL DEVELOPED BRANCHES AND ROOT PATTERNS. PLANT MATERIAL MUST BE FREE OF OBJECTIONABLE FEATURES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH PROPER MOST RECENT STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK', ANSI Z60.1.
- ORNAMENTALS AND SHRUBS SHALL BE CONTAINER GROWN AND WILL BE FREE OF DISEASE AND PESTS. ABSOLUTELY NO BARE ROOT MATERIALS. FERTILIZER OF 10-20-10: ONE PELLET OR 1-2 OZ. SHALL BE ADDED TO SOIL AT TIME OF PLANTING. ALL PLANT BEDS TO BE MULCHED TO A DEPTH OF 3" WITH HARDWOOD MULCH. PLANTING BEDS ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL AREAS.
- ALL TREES SHALL BE FERTILIZED WITH FERTILOME BRAND LIQUID ROOT STIMULATOR, 1.5 TABLESPOONS PER GAL. OF WATER. AS A SUBSTITUTE, 19-8-10 GRANULAR FERTILIZER, 75 LB. FOR 2' CAL. & 1.5 LBS. FOR 3" CAL., SHALL BE ADDED. INCORPORATE FERTILIZER INTO THE AMENDED PLANTING SOIL BEFORE PLANTING TREE. HOLE AREA FOR TREE TO BE TWICE (2x) THE DIAMETER OF THE ROOT BALL AND ROOT BALL SHALL BE MOUNDED. ALL TREES TO BE STAKED AND GUYED WITH A MINIMUM OF 2 WOOD OR STEEL 'T' POSTS AND PROTECTED W/ COVERING AT TREE W/ GUY WIRE. ADD MYKE PRO LANDSCAPE GRANULAR MYCCHORIZAE TO ALL PLANTING SOIL PITS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE THE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF THE PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS. CUTS OF ONE INCH OR MORE TO BE PAINTED WITH TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
- THE INSTALLATION OF ALL PLANT MATERIALS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF TONGANOXIE, KS.
- ALL LANDSCAPE AREAS TO BE FREE OF ALL BUILDING DEBRIS AND TRASH, BACK FILLED WITH CLEAN FILL SOIL AND TOP DRESSED WITH 6" OF TOPSOIL. TOPSOIL SHALL HAVE A pH RANGE OF 5.5 TO 7 AND A 4% ORGANIC MATERIAL MINIMUM, ASTM D5268.
- ALL PLANT BED AREAS TO RECEIVE DAIRY COW MANURE SOIL CONDITIONER AT A RATE OF 4.5 CU. YDS. PER 1000 SF. AND ORGANIC COMPOST AT A RATE OF 4.5 CU. YDS. PER 1000 SF. TO DETERMINE THE AMOUNT OF PHOS-PHOROUS AND POTASSIUM THE CONTRACTOR SHALL PERFORM A SOIL TEST AND ADD THOSE FERTILIZERS ACCORDING TO THE TEST RESULTS. AFTER APPLYING SOIL CONDITIONER AND FERTILIZER, THOROUGHLY TILL AREA TO A DEPTH OF 12". CONTRACTOR TO INSTALL A PERMEABLE LANDSCAPE WEED CONTROL FABRIC, 3 OZ. PER SQ. YD. MIN. IN ALL PLANT BEDS EXCEPT IN AREAS OF GROUND COVER PERENNIAL OR ANNUAL PLANTING. PLANT BEDS TO BE "MOUNDED" AS SHOWN ON DETAIL SHEET L2.00. ALL PLANT MATERIAL, PLANT BEDS, MULCH AND EDGING TO BE INSTALLED PER LANDSCAPE PLANS AND DETAILS. ADD MYKE PRO LANDSCAPE GRANULAR MYCCHORIZAE TO ALL PLANTING SOIL PITS PER MANUFACTURER'S RECOMMENDATIONS.
- REESTABLISH FINISH GRADES TO WITHIN ALLOWABLE TOLERANCES ALLOWING 1-1/2" FOR SOD AND 3" FOR MULCH IN PLANT BEDS. HAND RAKE ALL AREAS TO SMOOTH EVEN SURFACES FREE OF DEBRIS, CLODS, ROCKS, AND VEGETATIVE MATTER GREATER THAN 1".
- SHRUB AREAS SHALL BE MULCHED WITH 3" DEEP HARDWOOD MULCH. IN LOCATIONS LABELED ROCK USE 3" ROCK MULCH INSTALLED OVER A WEED BARRIER MAY BE INSTALLED IN SPECIFIC SHRUB BEDS WHERE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. ROCK TO BE 3" DEEP SMOOTH RIVER COBBLE, 2" TO 4" DIA., IN EARTH TONE BROWN AND GRAY COLORS. ROCK SHALL BE INSTALLED OVER A PERMEABLE LANDSCAPE WEED CONTROL FABRIC (PROPEX INC OR GEOTEX 401, MINIMUM 3oz. PER SQ. YD. WITH 130LBS OF TENSILE STRENGTH. BARRIER SHALL BE A PERMEABLE SPUN BOUND POLYPROPYLENE.
- ORNAMENTAL GRASSES, GROUND COVER AND PERENNIAL PLANT BED AREAS TO BE MULCHED WITH 3" OF HARDWOOD MULCH. IN AREAS OF STEEP SLOPES AN EROSION MAT IS TO BE INSTALLED INSTEAD OF HARDWOOD MULCH. ACTUAL LOCATIONS AND EXTENT OF EROSION MAT TO BE DETERMINED IN FIELD.
- ALL PLANT BEDS TO BE SEPARATED FROM LAWN AREAS WITH A CULTIVATED LANDSCAPE EDGE. STEEL LANDSCAPE EDGING MAY BE USED AS AN ADD ALTERNATE. A CULTIVATED EDGE SHALL BE INSTALLED TO SEPARATE GROUND COVER VEGETATION TYPES.
- THE EXACT LOCATION OF ALL UTILITIES, STRUCTURES, AND UNDERGROUND UTILITIES SHALL BE DETERMINED AND VERIFIED ON SITE BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF THE MATERIALS. DAMAGE TO EXISTING UTILITIES AND OR STRUCTURES SHALL BE REPLACED TO THEIR ORIGINAL CONDITION BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND REQ'D INSPECTIONS BY LEGAL AUTHORITIES. THE LANDSCAPE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL PLANT MATERIAL FOR ONE CALENDAR YEAR.
- ANY SUBSTITUTIONS OF DEVIATIONS SHALL BE REQUESTED IN WRITING BY THE CONTRACTOR FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- WATER: THE GRASS / PLUGS SHALL BE WATERED AT LEAST TWICE A WEEK FOR THE FIRST (3) WEEKS AFTER PLANTING. THE WATER AMOUNT FOR EACH WEEKLY WATERING SHALL BE AT LEAST EQUIVALENT TO (1) INCH OF RAINFALL. WATER USED IN THIS WORK SHALL BE FURNISHED BY THE OWNER AND WILL BE SUITABLE FOR IRRIGATION AND FREE FROM INGREDIENTS HARMFUL TO PLANT LIFE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, OBTAINING AND INSTALLATION OF 'ALL' IRRIGATION COMPONENTS, SLEEPING, PIPE, METERS, PERMITS, CONNECTION AND CONTROL SYSTEMS. DESIGN DRAWINGS OF THE PROPOSED IRRIGATION SYSTEM SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL MAT TO BE NORTH AMERICAN SC 150-BN BIODEGRADABLE MAT OR EQUIVALENT.



9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

UNILOCK
LOCATION
Tonganoxie, Leavenworth County
Kansas 66248

PROPOSED FACILITY FOR:

REVISION

PROJECT NUMBER
13599.00
DATE
03/23/2017

DESIGNED
HTR
DRAWN
GAN
REVIEWED
CEL
SHEET TITLE

Landscape
Details

SHEET NUMBER

L2.00

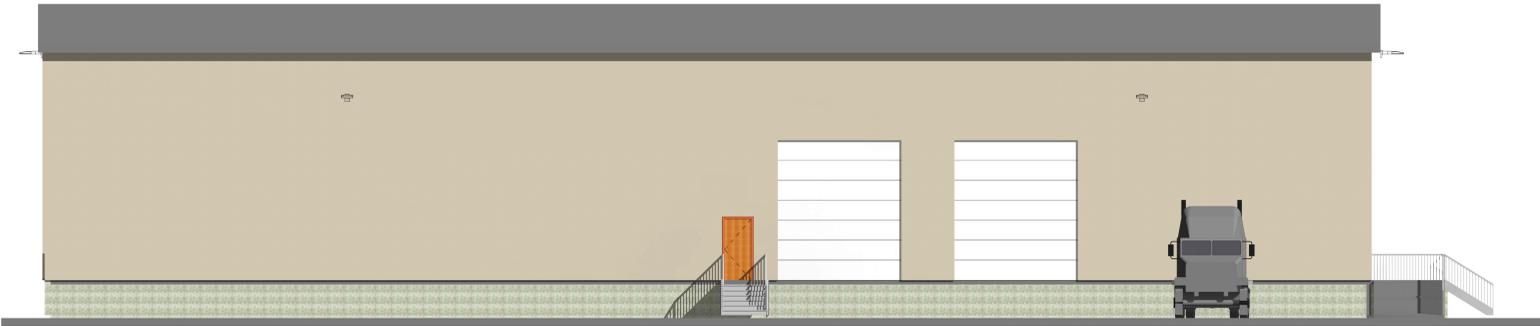
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wlk urban design, LLC
Community & Town Planning | Urban Revitalization |
Amenity & Park Design | Landscape Architecture
Wayne L. Kirchhoff AICP
11437 Flint, Overland Park, KS 66210
913.481.8610 | wlkurbandesign@gmail.com

Copyright 2017, George Butler Associates, Inc. Friday, March 17, 2017, 12:46pm g:\13599.01\Civil 3D\Production Drawings\Final Development Plan (Unilock)\13599.01\10100.dwg Layout: L2.00 Landscape Details



5 SOUTH ELEVATION CHECK OUT / STORAGE BUILDING - PHASE 1
1/8" = 1'-0"



4 WEST ELEVATION - CHECK OUT / STORAGE - PHASE 1
1/8" = 1'-0"



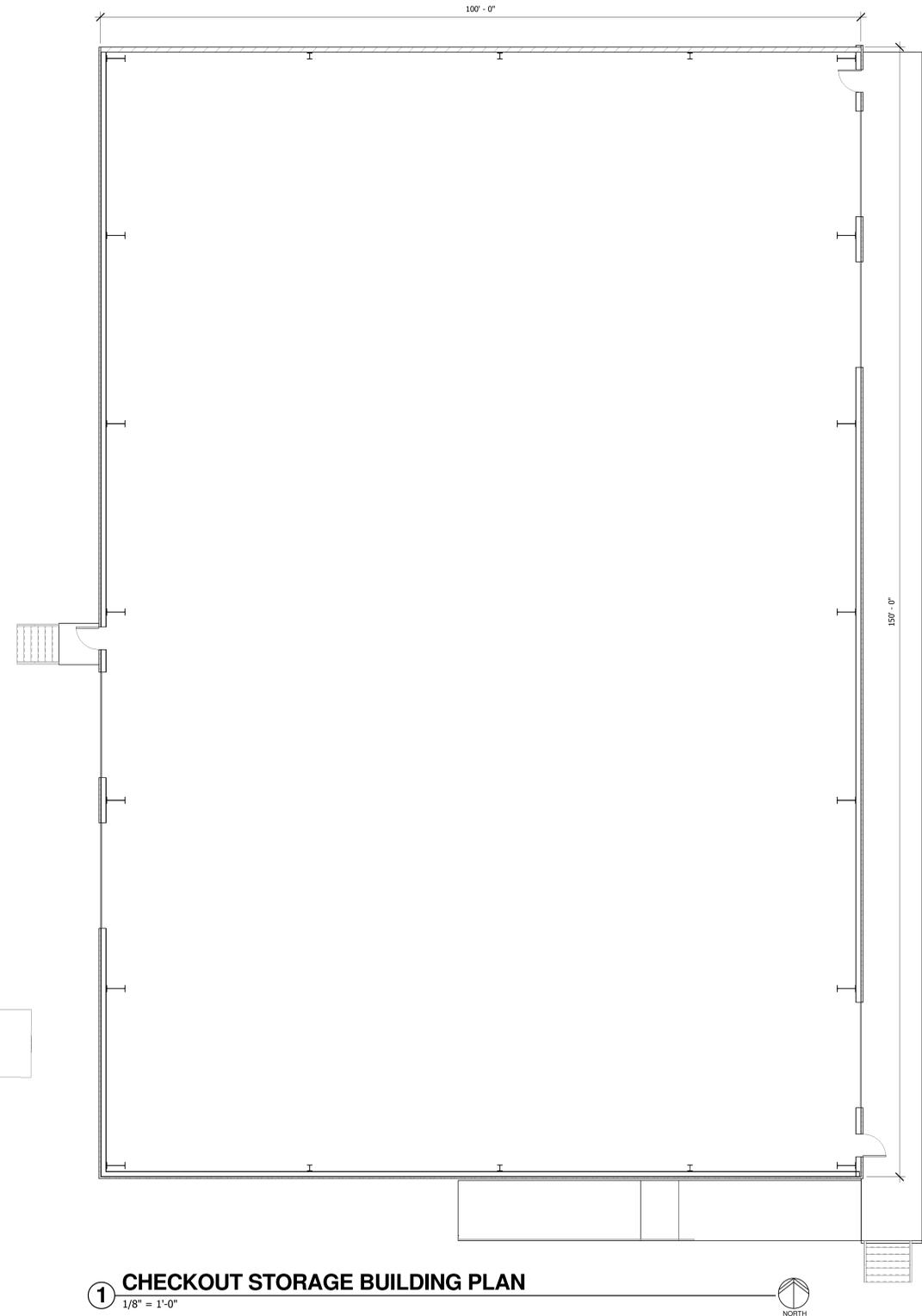
3 NORTH ELEVATION - CHECK OUT / STORAGE - PHASE 1
1/8" = 1'-0"



2 EAST ELEVATION - CHECK OUT / STORAGE - PHASE 1
1/8" = 1'-0"



6 CHECK OUT BUILDING 3D VIEW



1 CHECKOUT STORAGE BUILDING PLAN
1/8" = 1'-0"

UNILOCK ZONING APPROVAL
TONGANOXIE, KANSAS

UNILOCK
DESIGNED TO CONNECT.

PLAN CHANGES IN PROGRESS
CONTRACT DDCA

2017.03.16 PRELIMINARY
2017.03.22 PRELIMINARY
2017.04.26 PRELIMINARY

3321 South State Route 31
Prairie Grove, Illinois 60012
P 815.444.8444

DDCA architects
Direct Design Ltd.
Carroll Associates

PROJECT NO. 117170
PROJECT MGR. Checker
EXTERIOR ELEVATIONS -
CHECK OUT AND STORAGE -
PHASE 1
A1.2

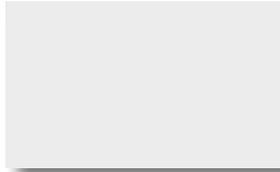
©DDCA/Carroll 2015 4/28/2017 8:07:17 AM



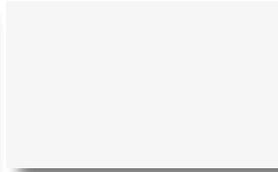
THERMALCLAD PANEL COLORS

COLORS & FINISHES

Cool Arctic White



Cool Cotton White



Cool Egyptian White



Tuff-Wall Stucco White



Cool Parchment



Cool Straw gold



Cool Sierra Tan



Tuff-Wall Light Stone



Cool Jade Green*



Cool Bermuda Green



Cool Cobalt Blue



Tuff-Wall Medium Beige



Cool Leaf Green



Cool Hemlock Green



Cool Imperial Blue



Tuff-Wall Light Gray



Cool Granite Gray



Cool Old Town Gray*



Cool Colonial Red



Cool Dark Bronze



Cool Zinc Gray*



Cool Bright Red



Cool Weathered Copper



Cool Copper Penny*



Cool Metallic Silver*



* Non-stocked colors may require minimum quantity order plus additional material procurement lead-time.



THERMALCLAD PANEL COLORS

Long-term beauty, unmatched protection, cool color performance and superior quality.

Varco Pruden uses high quality paint systems designed to provide long-term performance and protection. Each coating is formulated with thoroughly researched, tested and field proven pretreatments, primers, resins and pigments that can meet your design and performance requirements.

This paint system combines ceramic pigmentation with polyvinylidene fluoride for superior, long-lasting performance. PVDF finishes are respected for their durability, resistance and color retention. Our KXL finishes are warranted for up to 25 years.

70% PVDF finishes meet both Kynar 500 and Hylar 5000 specifications. Kynar 500® is a registered trademark of Arkema. Hylar 5000® is a registered trademark of Solvay Solexis. Galvalume® is a registered trademark of BIEC International, Inc.

All colors shown approximate actual paint colors as accurately as possible. Actual paint colors may vary. Colors in this guide are for reference only. Varco Pruden Buildings reserves the right to change color offerings shown here without notice. Painted metal samples are available.

Note: All panels formed from light gauge metal may exhibit waviness, also known as "Oil Canning," commonly occurring in, but not restricted to, flat portions of a panel. This inherent characteristic is not a defect of material and is not cause for rejection

PHYSICAL AND PERFORMANCE PROPERTIES		
Specular Gloss at 60	ASTM D 523 ⁽¹⁾	Typical: 20-35
Pencil Hardness	ASTM D 3363	HB to 2H
T-Bend	ASTM D 4145	0T to 3T ⁽²⁾ No loss of adhesion
Cross Hatch Adhesion	ASTM D 3359	No loss of adhesion
Reverse Impact	ASTM D 2794	HDG or Galvalume: 3x metal thickness inch-pounds, no loss of adhesion
Humidity Resistance 100% RH 2,000 hours	ASTM D 2247	HDG or Galvalume: No field blisters
Salt Spray Resistance 2,000 hours	ASTM B 117	HDG or Galvalume: creep from scribe no more than 1/16" (2mm) no blisters
South Florida Exposure	ASTM D 2244 ASTM D 4214	Color: No more than 5ΔE Hunter units at 25 years Chalk: Rating no less than 8 at 25 years. Film integrity: 30 years
Flame Test	ASTM E 84	Class A coating
Water Immersion 500* Hours 110F	ASTM D 870	No loss of adhesion
Drew Cycle Weatherometer 1000 Hours	ASTM D 3361	Color change: No more than 5Δ Hunter units. Chalk: Rating no less than 8
Abrasion Resistance	ASTM D 968	Method A, 65 +/- 10 liters

1. American Society for Testing and Materials. 2. KXL is not designed to bridge cracks in the substrate. Due to variability of heavy gauge and HDG metal, some fracturing or rupturing of the substrate is possible with subsequent rupturing of the coatings.

COOL COLOR INFORMATION – Consult specifier or agencies to meet specific requirements

Solar Reflective Analysis as of December 2009 ASTM - E-903, C-1549, C-1371, E-1980					LEED 3.0 Low Slope	LEED 3.0 Steep Slope	Energy Star Low Slope	Energy Star Steep Slope
VP's Color Finish Name With Color Code	Initial SRV	Radiative Emissivity	Installed SRI*	3-Year Aged SRI	Minimum 78 SRI	Minimum 29 SRI	Minimum .65 SRV	Minimum .25 SRV
Cool Arctic White – 451R810	.63	.86	63	63	NO	YES	NO	YES
Cool Bermuda Green – 455R1101	.29	.87	22	22	NO	YES	NO	YES
Cool Bright Red – 454R1000	.44	.86	35	35	NO	YES	NO	YES
Cool Cobalt Blue – 456R1384	.30	.86	22	22	NO	YES	NO	YES
Cool Colonial Red – 454R1016	.33	.87	22	19	NO	YES	NO	YES
Cool Copper Penny – 459RZ2422M	.51	.86	32	32	NO	YES	NO	YES
Cool Cotton White – 451R838	.75	.87	84	80	YES	YES	YES	YES
Cool Dark Bronze – 457R1089	.34	.87	22	22	NO	YES	NO	YES
Cool Egyptian White – 451R809	.63	.86	63	63	NO	YES	NO	YES
Cool Granite Gray – 452R1633	.54	.87	35	35	NO	YES	NO	YES
Cool Hemlock Green – 455R1102	.30	.86	22	22	NO	YES	NO	YES
Cool Imperial Blue – 456RZ1385	.30	.85	22	22	NO	YES	NO	YES
Cool Jade Green – 455R1133	.30	.87	22	22	NO	YES	NO	YES
Cool Leaf Green – 455R1198	.29	.86	22	22	NO	YES	NO	YES
Cool Metallic Silver – 459RZ2431M	.53	.79	32	32	NO	YES	NO	YES
Cool Old Town Gray – 452R1587	.38	.87	35	35	NO	YES	NO	YES
Cool Parchment – 453R1159	.50	.86	49	49	NO	YES	NO	YES
Cool Sierra Tan – 453R1154	.50	.87	49	49	NO	YES	NO	YES
Cool Straw Gold – 453R1160	.60	.86	63	63	NO	YES	NO	YES
Cool Weathered Copper – 457R1124	.36	.86	22	22	NO	YES	NO	YES
Cool Zinc Gray – 452R1583	.36	.87	35	35	NO	YES	NO	YES

* Solar Reflectivity Index includes Solar Reflectivity Values and Emissivity calculations. Values are for initial installation. Low slope values apply to roof slopes 2:12 or lower; Steep slope applies to roof pitches greater than 2:12.



Varco Pruden Buildings, 3200 Players Club Circle, Memphis, TN 38125

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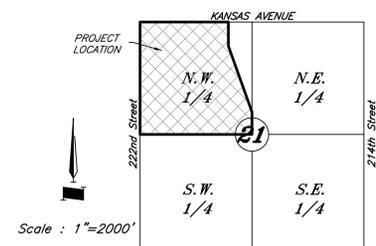
6020 Architectural Roof Colors
Issue Date: 2003
Revised: 11/13

Final Plat of TONGANOXIE BUSINESS PARK

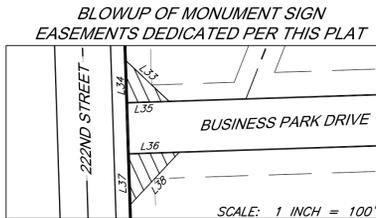
(PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 11 SOUTH, RANGE 21 EAST, OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TONGANOXIE, LEAVENWORTH COUNTY, KANSAS)

LINE	BEARING	LENGTH
L1	S01°23'45"E	68.00'
L2	S15°48'20"W	198.13'
L3	S00°00'00"E	123.88'
L4	S25°36'39"W	198.13'
L5	S46°49'23"E	16.00'
L6	S41°47'52"W	240.83'
L7	S82°11'48"E	280.63'
L8	S10°35'23"W	118.00'
L9	S16°53'19"W	174.00'
L10	S21°28'15"W	138.47'
L11	N88°09'39"E	140.61'
L12	S28°26'12"E	210.86'
L13	S46°49'23"E	16.00'
L14	N43°10'37"E	68.15'
L15	N39°31'25"E	213.46'
L16	N00°00'00"E	143.00'
L17	S69°51'00"W	51.00'
L18	S20°09'00"E	110.00'
L19	S01°23'45"E	137.33'
L20	N88°09'39"E	310.53'
L21	S54°24'07"W	96.00'
L22	N88°09'39"E	275.15'
L23	N88°09'39"E	71.73'
L24	N01°50'21"W	60.00'
L25	N28°55'14"W	195.09'
L26	N00°00'00"E	150.50'
L27	N88°36'15"E	50.48'
L28	N01°23'45"W	18.18'
L29	S01°50'21"E	15.00'
L30	N54°50'16"E	9.98'
L31	S10°35'23"W	34.05'
L32	S79°24'37"E	35.17'
L33	S46°50'21"E	70.67'
L34	N01°50'21"W	49.97'
L35	N88°09'39"E	49.97'
L36	N88°09'39"E	60.00'
L37	S01°50'21"E	60.00'
L38	N43°09'39"E	84.85'

CURVE TABLE	ITB	RADIUS	LENGTH	DELTA
C1	N88°09'39"E	88.00'	60.02'	39°04'32"
C2	N49°15'07"E	64.00'	106.47'	95°19'01"
C3	N35°35'53"E	64.00'	181.89'	162°50'03"
C4	N52°45'50"W	88.00'	60.02'	39°04'32"
C5	N52°45'50"W	88.00'	18.71'	12°11'05"

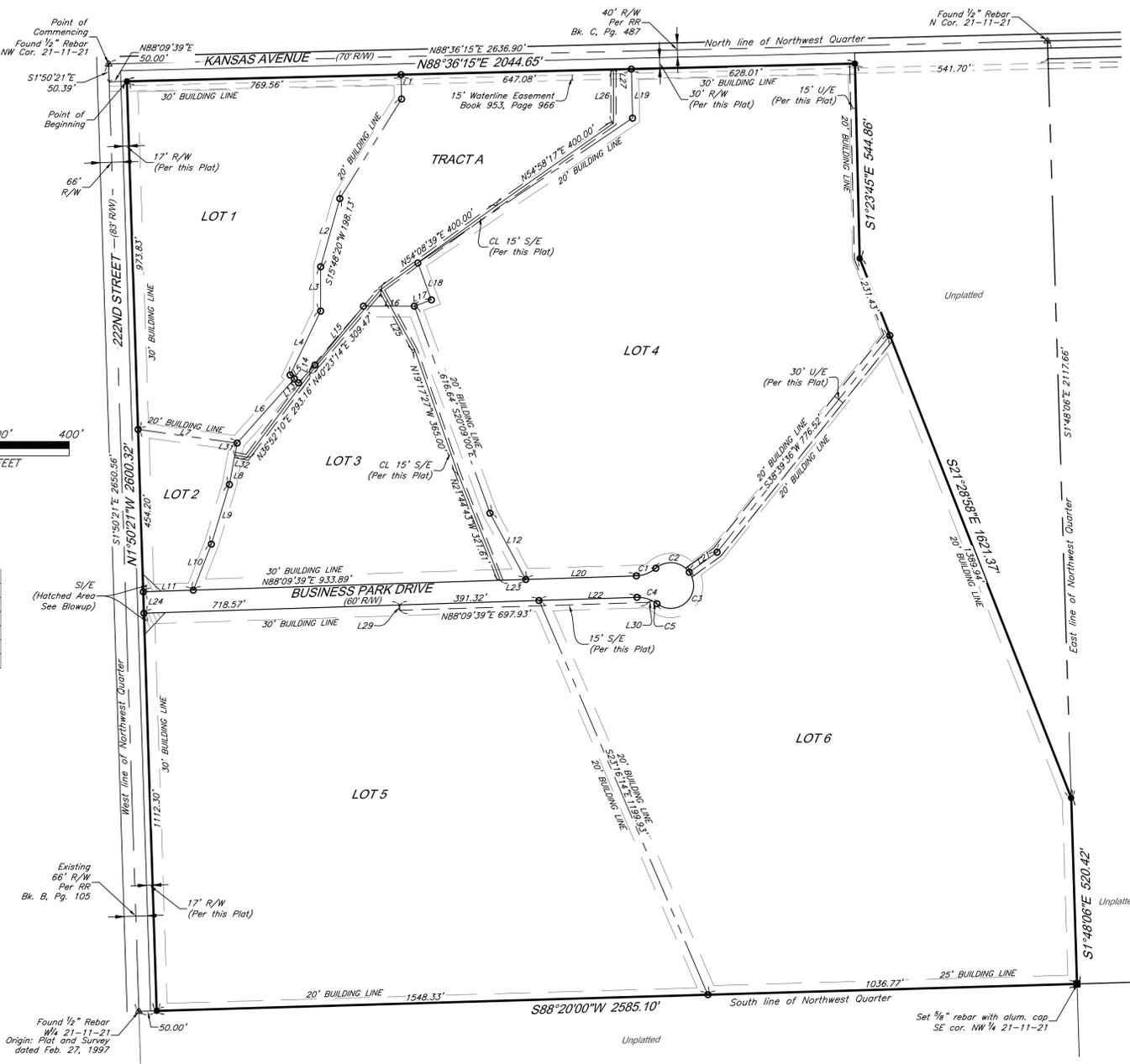


**VICINITY MAP
SECTION 21-11-21**



LEGEND

- ▲ - Found monument at section corner as noted
- - Set 1/2" rebar with plastic GBA cap at property corner, unless otherwise noted
- - Set 1/2" rebar with plastic GBA cap in concrete at property corner, unless otherwise noted
- - Set 5/8" rebar with 2" aluminum cap in concrete at property corner, unless otherwise noted



TRACT A	LOT DATA
TRACT A	335,391.17 sq. ft. or 7.70 acres
LOT 1	554,750.37 sq. ft. or 12.74 acres
LOT 2	95,089.02 sq. ft. or 2.18 acres
LOT 3	452,989.82 sq. ft. or 10.40 acres
LOT 4	1,335,446.81 sq. ft. or 30.66 acres
LOT 5	1,480,954.50 sq. ft. or 34.00 acres
LOT 6	1,643,237.32 sq. ft. or 37.72 acres
Right-of-Way Outside Plat	106,059.27 sq. ft. or 2.43 acres
Right-of-Way Within Plat	98,354.04 sq. ft. or 2.26 acres
Total Right-of-Way	204,413.31 sq. ft. or 4.69 acres
Total Platted Area	5,897,859.01 sq. ft. or 135.40 acres

THEORY OF LOCATION:
The Southwest, Northwest, and Northeast corners of the Northwest Quarter of Section 21-11-21 were found as shown and match record distances. Their positions were held for the plotting of this tract of ground. The Southeast corner of the Northwest Quarter was reestablished by holding a line between monuments found at the Northeast corner of the Northwest Quarter and the Southeast corner of the Southwest Quarter, for an East/West position. The North/South position for this corner, was established by holding a line between the found monument at the Southwest corner of the Northwest Quarter, and an established position at the Southeast corner of the Northeast Quarter.

BASIS OF BEARINGS:
The bearings shown hereon are based upon the West line of the Northwest Quarter of Section 21, Township 11 South, Range 21 East, having a bearing of South 01°50'21" East, between a found 1/2" rebar at the Northwest corner and a found 1/2" rebar at the Southwest corner of said Northwest Quarter.

DESCRIPTION:

This is a survey and plat of part of the Northwest Quarter of Section 21, Township 11 South, Range 21 East, of the Sixth Principal Meridian, in the City of Tonganoxie, Leavenworth County, Kansas, more particularly described as follows:

Commencing at the Northwest corner of said Northwest Quarter; thence South 01°50'21" East, along the West line of said Northwest Quarter, a distance of 50.39 feet; thence North 88°09'39" East, departing said West line, a distance of 2,044.65 feet; thence South 01°23'45" East, a distance of 544.86 feet; thence South 21°28'58" East, a distance of 1,621.37 feet, to a point on the East line of said Northwest Quarter; thence South 01°48'06" East, along said East line a distance of 520.42 feet, to the Southeast corner of said Northwest Quarter; thence South 88°20'00" West, departing said East line, along the South line of said Northwest Quarter, a distance of 2,585.10 feet; thence North 01°50'21" West, departing said South line, a distance of 2,600.32 feet, to the Point of Beginning, containing 5,897,859.01 square feet, or 135.40 acres, more or less.

GENERAL NOTES:

- Title information shown hereon is based upon the "Informational Report", prepared by Kansas Secured Title, Inc. - Leavenworth, Commitment Number: TX0011416, Effective Date: November 5, 2016 at 8:00 AM.
- According to FEMA Flood Insurance Rate Map, Panel 325 of 425, Community-Panel Number 200192 0325 G, Map Revised July 16, 2015, the surveyed premises lies entirely within Zone X, Areas determined to be outside the 0.2% annual chance floodplain.
- All values shown hereon are measured and record unless otherwise stated.
- The origin of monuments found are unknown unless otherwise noted.
- The Wetland Area shown hereon was determined by The U.S. Army Corps of Engineers to be Jurisdictional and regulated under Section 404 of the Clean Water Act, 33 USC 1344 per the Nationwide Permit Verification Project Number NWK-2017-00421 dated March 31st, 2017.

SURVEY REFERENCES:

- Bartlett and West Survey dated May 2007, found in Leavenworth County Survey Records.
- County Survey Record for Section 21-11-21 dated April 22, 1969.
- Plat and Survey performed by Donald G. White, R.L.S. 356, dated July 2, 1997.
- Plat and Survey performed by Donald G. White, R.L.S. 356, dated February 27, 1992.

DEDICATION:

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat which hereafter shall be known as "TONGANOXIE BUSINESS PARK".

The Streets, Drives, Terraces and other ways shown hereon and not heretofore dedicated to the public are hereby so dedicated.

An EASEMENT is hereby granted all public utility companies, their successors or assigns or rural water districts duly incorporated and authorized to do business in Leavenworth County, Kansas, to enter upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" and "Drainage Easement" or "D/E" for purposes of utility installations and maintenance thereof. The use of said easement by any such entity shall obligate such entity to return said easement to its condition prior to any installation, maintenance or repair performed on said easement.

The maintenance of the TRACT A stormwater detention facilities which serve this plat shall be the responsibility of the City of Tonganoxie, Leavenworth County, Kansas, and the owners of each lot within this plat.

The Wetland Easement "W/E" over all wetlands is to be owned and maintained by the City of Tonganoxie, Leavenworth County, Kansas. The removal of vegetation within the easement is prohibited unless approval from the City of Tonganoxie, Leavenworth County, Kansas is granted to remove dead or damaged vegetation that poses a hazard or approval is granted to remove exotic or nuisance vegetation. No soil excavation, fill, or removal within the easement shall be permitted.

An EASEMENT or LICENSE to enter upon, locate, construct and maintain or authorize the location, construction, maintenance and use of Streets, Roads, Drives, Sidewalks, etc., upon, over, and under these areas outlined and designated on this plat as "Sewer Easement" or "S/E" is hereby granted to the City of Tonganoxie, Leavenworth County, Kansas.

An EASEMENT or LICENSE to enter upon, locate, construct and maintain or authorize the location, construction, maintenance and use of Streets, Roads, Drives, Sidewalks, signs, etc., upon, over, and under these areas outlined and designated on this plat as "Monument Sign Easement" or "SI/E" is hereby granted to the City of Tonganoxie, Leavenworth County, Kansas.

There will be no restrictions other than those shown hereon.

OWNER CERTIFICATE:

This is to certify that the undersigned is the owner of the land described in the plat, and that all previous taxes have been paid, and that they have caused the same to be surveyed and subdivided as indicated thereon, for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title thereon indicated.

Given under my hand at Tonganoxie, Kansas this ___ day of _____ A.D. 2017

XXX

NOTARY CERTIFICATE:

STATE OF KANSAS
COUNTY OF LEAVENWORTH } ss

Be it remembered that on this ___ day of _____ 2017, before me, a notary public in and for said County and State, came XXX to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

(SEAL) _____ Notary Public

My Commission Expires: _____

PLANNING COMMISSION APPROVAL:

This plat of TONGANOXIE BUSINESS PARK has been Submitted to and Approved by the Tonganoxie Planning Commission this ___ day of _____ A.D. 2017.

John Morgan, Chairman Steve Gumm, Secretary

CITY COUNCIL APPROVAL:

The easements and rights-of-way accepted by the Governing Body of Tonganoxie, Kansas, this ___ day of _____ A.D. 2017.

Jason Ward, Mayor ATTEST: Patty Hagg, City Clerk

CITY ENGINEER APPROVAL:

The City Engineer's review is only for general conformance with the Subdivision Regulations as adopted by the City of Tonganoxie. The City is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

Brian Kingsley, City Engineer

COUNTY SURVEYOR'S CERTIFICATE

I hereby certify this plat meets the requirements of K.S.A. 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for survey information only.

Wayne Malnicof, Leavenworth County Surveyor

REGISTER OF DEEDS CERTIFICATE

Plat of TONGANOXIE BUSINESS PARK of Tonganoxie was filed for record this ___ day of _____ A.D., 2017, at _____ M., and duly recorded in volume _____ of plats, at page _____.

Stacy Driscoll, Register of Deeds, Leavenworth Co. Kansas

SURVEYOR'S CERTIFICATION: I hereby certify that under my direct supervision, a survey was made on the ground of the premises herein described, completed in the field during the month of March, 2017 and that the results of said survey are represented hereon.



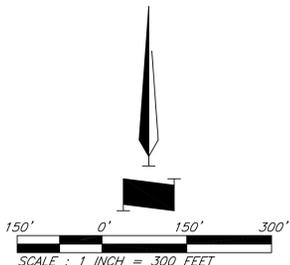
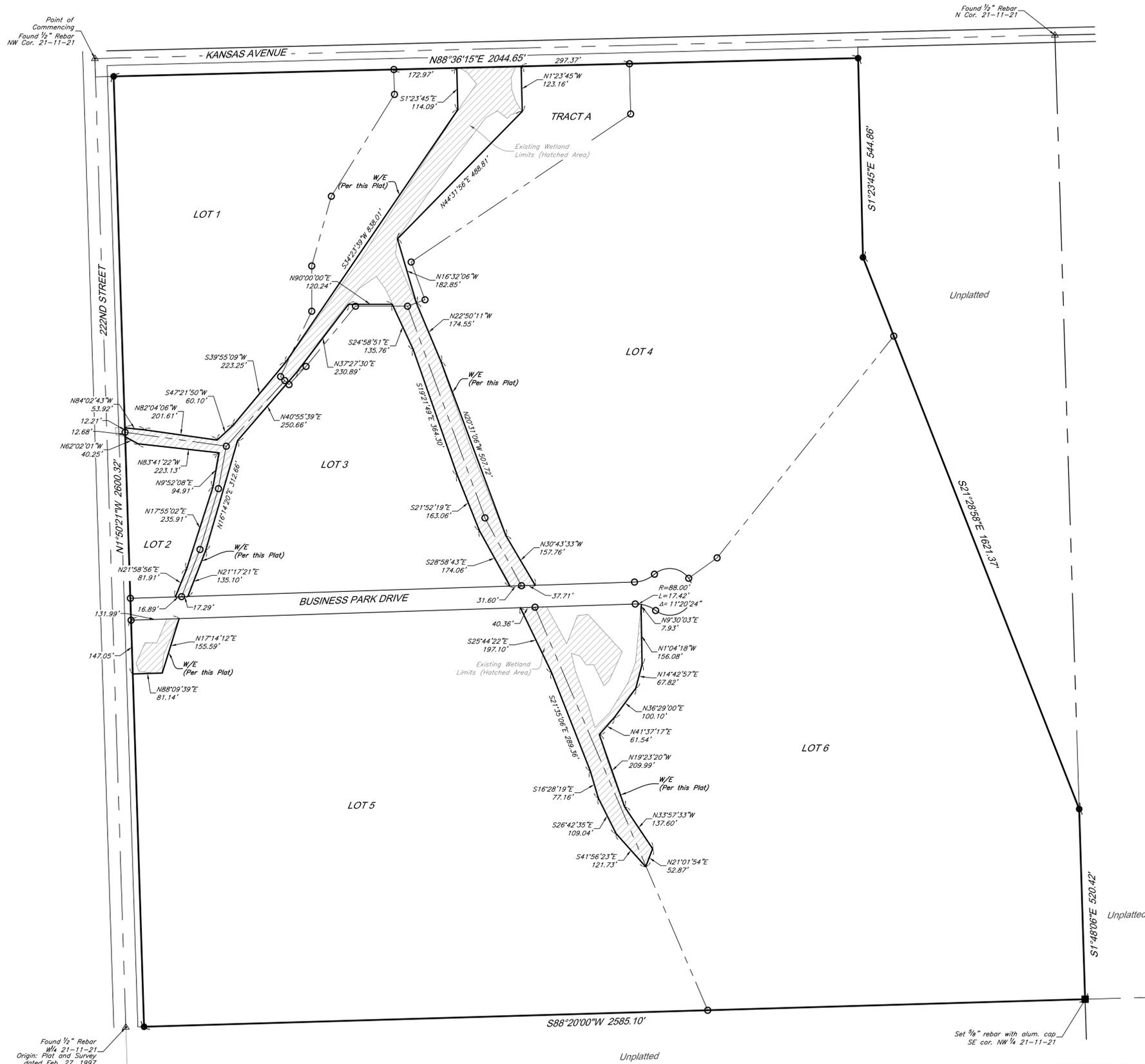
Andrew J. Riddle
Kansas Land Surveyor No. 1530

Final Plat of
TONGANOXIE BUSINESS PARK
Section 21, Township 11, Range 21
City of Tonganoxie, Leavenworth County, Kansas



GEORGE BUTLER ASSOCIATES, INC.
CONSULTING ENGINEERS / ARCHITECTS / LANDSCAPE ARCHITECTS / PLANNERS
ONE RENNER RIDGE, 9801 RENNER BLVD, LENEXA, KS 66219 / (913)492-0400

Final Plat of
TONGANOXIE BUSINESS PARK
 (PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 11 SOUTH, RANGE 21 EAST, OF
 THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TONGANOXIE, LEAVENWORTH COUNTY, KANSAS)



2 OF 2
WETLAND EASEMENTS
DEDICATED PER THIS PLAT

Revised April 27, 2017
 Job No. 13599.00 March 22, 2017 Drawn By: MAP

GBA
GEORGE BUTLER ASSOCIATES, INC.
 CONSULTING ENGINEERS / ARCHITECTS / LANDSCAPE ARCHITECTS / PLANNERS
 ONE RENNER RIDGE, 9801 RENNER BLVD, LENEXA, KS 66219 / (913)492-0400

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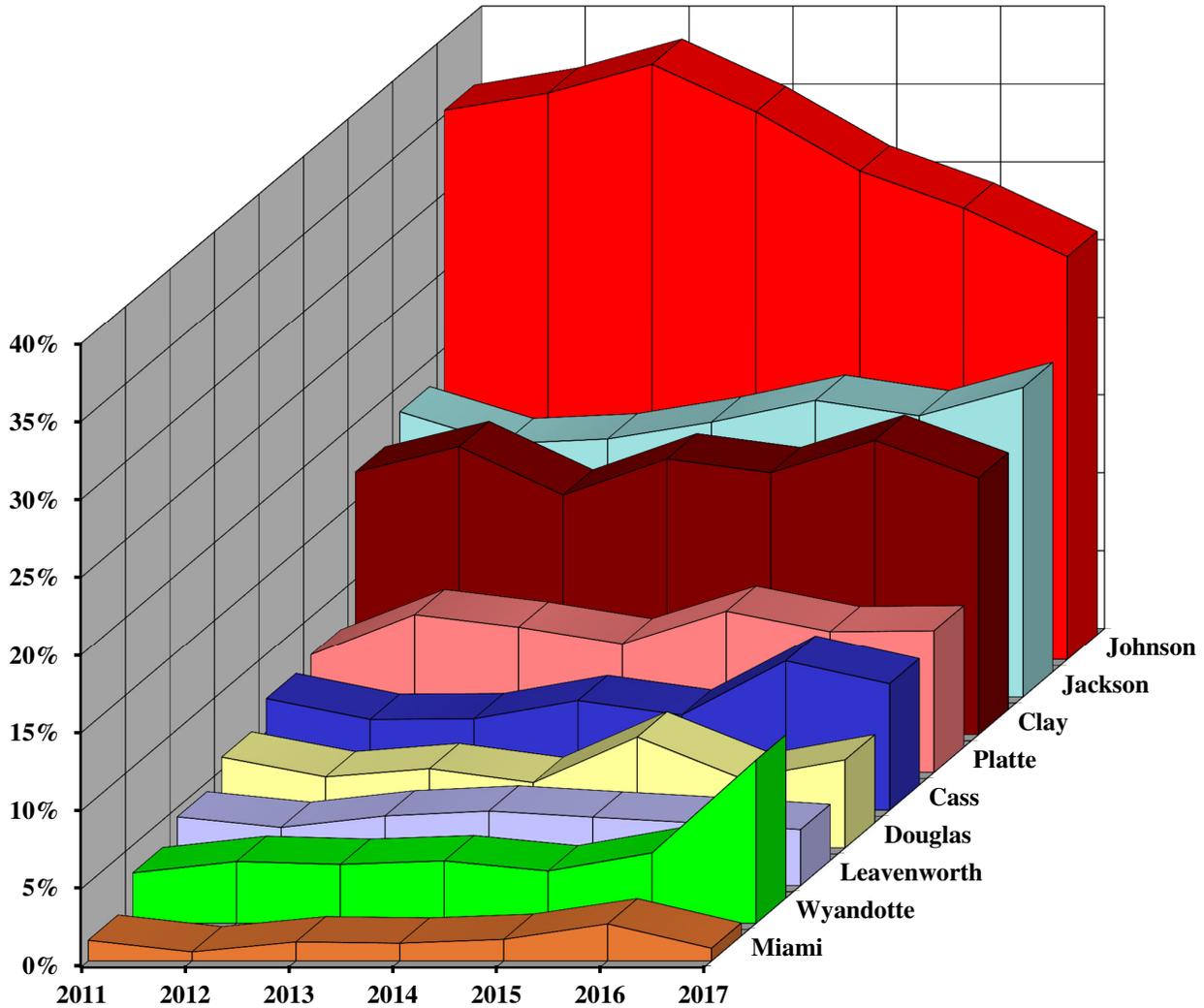
Andrew J. Riddle
 Kansas Land Surveyor No. 1530

Final Plat of
TONGANOXIE BUSINESS PARK
 Section 21, Township 11, Range 21
 City of Tonganoxie, Leavenworth County, Kansas

Kansas City Metro, KS & MO (9 Counties)

Market Share by County

(Based on Building Permits Issued)



County	2011	2012	2013	2014	2015	2016	2017
Johnson	35.32%	36.43%	38.29%	35.23%	31.43%	29.04%	25.92%
Jackson	18.33%	16.28%	16.58%	17.66%	19.06%	18.06%	19.88%
Clay	16.88%	18.51%	15.40%	17.73%	16.84%	18.92%	16.50%
Platte	7.55%	10.15%	9.34%	8.27%	10.37%	9.05%	9.12%
Cass	7.15%	5.81%	5.85%	7.02%	6.09%	9.57%	8.09%
Douglas	5.81%	4.55%	5.07%	4.18%	7.10%	4.45%	5.64%
Leavenworth	4.40%	3.73%	4.46%	4.77%	4.38%	4.01%	3.59%
Wyandotte	3.23%	3.96%	3.77%	4.00%	3.35%	4.52%	10.45%
Miami	1.33%	0.59%	1.23%	1.14%	1.39%	2.38%	0.82%
	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%



MARCH 2017

	Single Family Units ^A	Multi-Family Units [%]	Total Units	S-F Units YTD	M-F Units YTD	Total Units YTD		Single Family Units ^A	Multi-Family Units [%]	Total Units	S-F Units YTD	M-F Units YTD	Total Units YTD									
CASS COUNTY							LEAVENWORTH COUNTY															
Archie	0	0	0	0	0	0	Basehor	10	0	10	18	0	18									
Belton	2	0	2	12	0	12	Lansing	0	0	0	5	0	5									
Cass County	0	0	0	0	0	0	Leav. County	4	0	4	17	0	17									
Cleveland	0	0	0	1	0	1	Leavenworth	4	0	4	5	0	5									
Drexel	0	0	0	0	0	0	Tonganoxie	8	0	8	22	0	22									
Garden City	0	0	0	0	0	0	26	0	26	67	0	67										
Harrisonville	0	0	0	0	0	0	WYANDOTTE COUNTY															
Lake Winnebago	1	0	1	5	0	5	Bonner Springs	0	0	0	2	0	2									
Lee's Summit	7	0	7	11	0	11	Edwardsville	0	0	0	0	0	0									
Peculiar	10	0	10	13	0	13	KCK/Wyandotte Co	34	0	34	135	0	135									
Pleasant Hill	9	0	9	15	0	15	34	0	34	137	0	137										
Raymore	22	0	22	60	0	60	MIAMI COUNTY															
Village of Loch Lloyd	1	0	1	5	0	5	Louisburg	5	0	5	11	0	11									
52	0	52	122	0	122	Miami County	0	0	0	2	0	2										
CLAY COUNTY							Osawatomie	0	0	0	0	0	0									
Clay County	10	0	10	19	0	19	Paola	0	0	0	0	0	0									
Excelsior Springs	2	0	2	3	0	3	Spring Hill	5	0	5	5	0	5									
Gladstone	1	0	1	2	0	2	10	0	10	18	0	18										
Kansas City	114	0	114	228	0	228	Totals	561	80	641	1478	416	1894									
Kearney	11	0	11	27	0	27	Comparison of Single Family Building Units for Greater Kansas City															
Kearney	11	0	11	27	0	27	(Cass, Clay, Jackson, Platte, Johnson, Leavenworth, Miami, Wyandotte Counties)															
Lawson	0	0	0	0	0	0	Month/Year	2010	2011	2012	2013	2014	2015	2016	2017							
Liberty	13	0	13	15	0	15	January	137	90	188	273	287	240	274	448							
North Kansas City	0	0	0	0	0	0	February	145	121	182	224	216	260	408	469							
Pleasant Valley	0	0	0	0	0	0	March	252	180	270	335	362	393	542	561							
Smithville	12	0	12	29	0	29	April	228	210	277	444	439	437	523								
163	0	163	323	0	323	May	213	230	294	337	385	395	503									
JACKSON COUNTY							June	239	262	268	333	364	438	578								
Blue Springs	19	0	19	46	0	46	July	180	204	288	409	375	399	494								
Buckner	0	0	0	0	0	0	August	243	205	260	354	352	425	530								
Grain Valley#	2	0	2	24	0	24	September	173	202	379	384	383	462	418								
Grandview	0	0	0	0	0	0	October	279	205	331	369	468	459	462								
Greenwood	0	0	0	2	0	2	November	173	185	283	340	312	360	412								
Independence	4	0	4	24	0	24	December	209	207	279	288	328	432	345								
Jackson County	5	0	5	16	0	16	Annual Total	2,471	2,301	3,299	4,090	4,271	4,700	5,489	1,478							
Kansas City	4	0	4	15	0	15	Comparison of Permits By Units Issued Year to Date															
Lake Lotawana	0	0	0	0	0	0	2010 - 2017															
Lee's Summit	50	0	50	148	89	237		<u>S-F</u>	<u>M-F</u>	<u>Total</u>												
Oak Grove	4	0	4	14	0	14		<u>Units</u>	<u>Units</u>	<u>Units</u>												
Raytown	0	0	0	0	0	0	2010	534	55	589												
Sugar Creek	0	0	0	0	0	0	2011	391	0	391												
88	0	88	289	89	378	2012	640	73	713													
PLATTE COUNTY							2013	832	129	961												
Edgerton	0	0	0	0	0	0	2014	865	832	1697												
Kansas City	25	0	25	52	0	52	2015	893	794	1687												
Parkville	3	0	3	11	0	11	2016	1224	987	2211												
Platte City	0	0	0	0	0	0	2017	1478	416	1894												
Platte County	11	0	11	55	0	55	^A The Single Family number is units and includes both attached and detached units.															
Riverside	6	0	6	9	0	9	%Multi-Family units are in buildings with 5 or more units.															
Weatherby Lake	0	0	0	5	0	5	# Not available at time of report															
Weston	0	0	0	0	0	0	Permit information reflects the most recent data at time of publication. In order to ensure accurate recording of residential building permit statistics, the HBA may revise monthly and year-to-date figures when updated data is made available. Copyright 2017 Home Builders Assoc of Greater Kansas City. All rights reserved.															
45	0	45	132	0	132																	
JOHNSON COUNTY																						
De Soto	0	0	0	2	0	2																
Edgerton	0	0	0	0	0	0																
Fairway	0	0	0	2	0	2																
Gardner	0	0	0	5	0	5																
Johnson County	5	0	5	14	0	14																
Leawood	6	0	6	11	0	11																
Lenexa	31	30	61	66	30	96																
Merriam	0	0	0	0	0	0																
Mission Hills	0	0	0	1	0	1																
Olathe	35	0	35	118	10	128																
Overland Park	50	50	100	113	287	400																
Prairie Village	2	0	2	8	0	8																
Shawnee	6	0	6	27	0	27																
Spring Hill	8	0	8	23	0	23																
Westwood	0	0	0	0	0	0																
143	80	223	390	327	717																	