



TONGANOXIE PLANNING COMMISSION

Agenda

March 5, 2020

7:00 p.m.

**City Council Chambers
321 S. Delaware St.**

REMOTE MEETING – See City of Tonganoxie website at www.tonganoxie.org for more information. There may be an audio recording of the meeting which will be utilized to prepare the meeting minutes.

CALL TO ORDER – Planning Commission Meeting

1. **APPROVAL OF PC MINUTES** – March 5, 2020
2. **OPEN AGENDA** is not available during this meeting. Comments received by the City Clerk or emailed to info@tonganoxie.org by 1:00 PM the day of the meeting will be reviewed and possibly shared for review by the Governing Body. Any public hearing comments or questions will also need to follow this submission process.
3. **NEW BUSINESS**
 - a) Swearing in of New Planning Commissioner – Jennifer McCutchen
 - b) Site Plan – 300 E State Avenue – Tonganoxie High School Addition - Submitted by Loren Feldkamp of Tonganoxie USD 464
 - c) Site Plan – West Village Apartments - 00000 West Street (5.15 Acres) – Submitted by Tomica and Ljubinka Cvetkovic
 - d) Public Hearing - Preliminary Plat – West Village Apartments - 00000 West Street (5.15 Acres) – Submitted by Tomica and Ljubinka Cvetkovic
 - e) Consideration of Amendments for Zoning Regulations – Anna Krstulic, City Attorney
 - f) Consideration of Planning Commission By-Law Updates – Anna Krstulic, City Attorney
4. **OLD BUSINESS**
 - a. **Set date/time for Planning Commission Training, provided by Gould Evans staff**
5. **GENERAL INFORMATION**
 - a) Housing Reports – February 2020 and March 2020
6. **ADJOURN**



TONGANOXIE BOARD OF ZONING APPEALS
Meeting Minutes
March 5, 2020, 7:00 p.m.
City Council Chambers, 321 S. Delaware St.

CALL TO ORDER

- Chair John Morgan opened the meeting at 7:00 p.m.
- Roll Call: Board of Zoning Appeals ("Board") members present were Chair John Morgan, Vice Chair Monica Gee, Zach Stoltenberg, John Kirk, Patti Bitler. Crystal Hensen was absent. Manager George Brajkovic, City Attorney Anna Krstulic, Planning Clerk Melanie Bilby and City Planner Chris Brewster with Gould Evans were also present.

1. APPROVAL OF MINUTES – February 6, 2020

- **Ms. Gee moved to approve the minutes from the February 6, 2020 Board meeting.**
- **Mr. Stoltenberg seconded.**
- **Vote of all ayes, motion carried.**

2. OLD BUSINESS

3. NEW BUSINESS

4. OPEN AGENDA

5. GENERAL INFORMATION

6. ADJOURN

- Meeting adjourned at 7:02 pm

Respectfully submitted,

Melanie Bilby, Planning Clerk



TONGANOXIE PLANNING COMMISSION
Meeting Minutes
March 5, 2020, 7:00 p.m.
City Council Chambers, 321 S. Delaware St.

CALL TO ORDER

- Chair John Morgan opened the meeting at 7:03 p.m.
- Roll Call: Planning Commission ("Commission") members present were Chair John Morgan, Vice Chair Monica Gee, Zach Stoltenberg, John Kirk, Patti Bitler and Crystal Hensen. No Commission members were absent. City Manager George Brajkovic, City Attorney Anna Krstulic, Planning Clerk Melanie Bilby and City Planner Chris Brewster with Gould Evans were also present.

1. APPROVAL OF PC MINUTES – February 6, 2020

- **Ms. Gee moved to approve the minutes from the February 6, 2020 Commission meeting.**
- **Mr. Stoltenberg seconded.**
- **Vote of all ayes, motion carried.**

2. OPEN AGENDA

- No members of the public spoke.

3. NEW BUSINESS

a) Site Plan – 00000 Commerce Avenue – Submitted by Brad Wilson of Wilson Glass

- Mr. Brewster presented the planning report for the application. He explained the requirements for the project and the zoning requirements. He stated that as presented, the building meets all of the zoning requirements.
- Mr. Brewster stated that six parking spots are required, and the lot meets this requirement.
- Mr. Brewster reviewed the building offset requirements (3 to 1 ratio of façade articulation), which the side and front elevations do not meet. He explained that the Commission could grant an exception for this requirement and that planning staff recommend granting that exception for this building because it is industrial in nature, the building height is low and wall planes are not very tall, and there are substantial setbacks on all sides.
- Mr. Brewster stated that retail or office portions of industrial buildings require design elements for transparency on 30% of the façade and street walls, which portions of the building elevations do not meet. He stated that the Commission could grant an exception for this requirement, which planning staff recommends for the same reasons identified above.
- Mr. Brewster stated that this project does not have any loading or unloading areas.
- Mr. Brewster addressed the landscaping for the project and recommended that 10 to 12 shade trees should be evenly spaced in the 20' buffer area on Commerce Drive and Industrial Drive with at least 3 near parking areas adjacent to Commerce Drive and Industrial Drive.

- Mr. Brewster stated that planning staff recommend approval of the site plan with the conditions identified in his report and the exceptions for the building offsets and transparency design elements.
 - Mr. Morgan asked if any members of the Commission had questions.
 - Mr. Stoltenberg asked the applicant if there would be any outdoor storage.
 - Mr. Wilson responded that he was not planning on any outdoor storage at this time.
 - Mr. Stoltenberg asked the applicant to address any planned exterior lighting.
 - Mr. Wilson replied that he would be using wall lights that will illuminate the parking lot and site.
 - Mr. Stoltenberg said that if any future outdoor storage is planned, the applicant would need to abide by City zoning code and building regulations.
 - **Mr. Stoltenberg moved to approve the site plan for 00000 Commerce Avenue submitted by Brad Wilson of Wilson Glass with the four conditions and two exceptions presented by planning staff in their report.**
 - **Ms. Gee seconded.**
 - **Vote of all ayes, motion carried.**
- b) CONTINUED – Site Plan – West Village Apartments – 00000 West Street (5.15 Acres) – Submitted by Tomica and Ljubinka Cvetkovic
- Mr. Brajkovic informed the Commission that the applicant is still working closely with City staff and outside organizations to complete the required items for their applications. At this time, applicant's goal is to be on the April 2 Commission Agenda.
 - **Ms. Gee moved to continue the site plan for West Village Apartments to the April 2, 2020 Commission meeting.**
 - **Ms. Bitler seconded.**
 - **Vote of all ayes, motion carried.**
- c) CONTINUED – Preliminary Plat – West Village Apartments – 00000 West Street (5.15 Acres) – Submitted by Tomica and Ljubinka Cvetkovic
- **Ms. Gee moved to continue the preliminary plat for West Village Apartments to the April 2, 2020 Commission meeting.**
 - **Ms. Bitler seconded.**
 - **Vote of all ayes, motion carried.**
- d) Consideration of Planning Commissioner Applications
- The Commission discussed Jennifer McCutchen's application.
 - **Mr. Morgan moved to recommend Jennifer McCutchen to fill the vacant Commission position to the City Council for consideration.**
 - **Ms. Gee seconded.**
 - **Vote of all ayes, motion carried.**

4. OLD BUSINESS

- Mr. Brajkovic stated that Gould Evans and City Attorney Anna Krstulic are working on training opportunities. He anticipates those trainings to take place during the May or June meetings.
- Mr. Brajkovic explained that Ms. Krstulic reviewed the Commission's by-laws and provided a draft to the Commission for review.

- Ms. Krstulic explained that she reorganized the by-laws and recommended additional provisions.
- Mr. Brajkovic described the development application process. He stated that most projects start with a pre-development meeting where the applicants are given the materials and a checklist clarifying the requirements for the application and project.
- The Commission discussed additions or changes they would like to see made to the by-laws.
- Mr. Brajkovic stated that officer appointments will take place during the June 2020 Commission meeting.

5. GENERAL INFORMATION

- a) Housing Reports – January 2020 Census, December 2019 and January 2020 Home Builder’s Association

6. ADJOURN

- **Ms. Gee moved to adjourn the meeting.**
- **Mr. Stoltenberg seconded.**
- **Vote of all ayes, motion carried.**
- **Meeting adjourned at 7:51 p.m.**

Respectfully submitted,

Melanie Bilby, Planning Clerk



City of Tonganoxie, Kansas

PLANNING STAFF REPORT

Case#: 2020-004P

Date of Report: May 4, 2020

Applicant Name: Tonganoxie High School

Property Owner Name: USD 464 Board of Education

Subject Property Address: 329 State Avenue, Tonganoxie, KS

Application:

Zoning District: R-SF, Residential Single Family

Type of Approval Desired: Site Plan Approval for the construction of a new buildings and associated site improvements.

Date of Application: March 18, 2020

Date of Meeting: May 7, 2020

Surrounding Property – Zoning and Use:

West: GBD – General Business District; vacant and a bank

South: R-SF – Residential Single Family; single-family houses

East: GBD General Business District, R-MF-2 Residential Multi-family 2, I-MT Moderate Industrial; bank and park.

North: GBD General Business District; various business, services and institutions

Vicinity: The property fronts on a highway on two sides at the transition between Tonganoxie's older traditional neighborhoods to the south and highway strip commercial to the north and west.

Staff Recommendation:

Staff recommends approval.

I. PROJECT DESCRIPTION

- A. Subject Property. The property is a 53.44 acre site on the southwest corner of U.S 24/40 and North Manu Street. It has been the site of Tonganoxie High School since 1963. The lot is zoned Residential – Single-family (R-SF. It fronts on a highway on two of the sides, and across the highway is zoned General Business District (GBD) with a mix of strip commercial, services, institutions and vacant lots. To the west is a mix of zoning (general business, industrial, and multi-family) that includes a bank on the highway corner, and a public park.
- B. Proposal. The applicant proposing to build a new building on the site and replace the existing Board of Education building that is situated to the north of the school, and do substantial renovations to the existing building. The new building will connect and extend on an angle off of the north elevation of the current school. Parking areas and internal circulation will be reconfigured, but access from the surrounding streets will remain the same (two off of U.S. 24/40, and one off of North Main). with new parking and access drives. (Adding 56,790 s.f the new building to the north, 36,351 renovation/addition to the east, and a 1,080 s.f. greenhouse; with reconfigured grounds resulting in a total increase of 76,366 s.f. of impervious surface, an increase of 14.71%)

II. REVIEW CONSIDERATIONS

Site Plan review is required for all new construction of public uses in any zoning district. [Tonganoxie Subdivision Regulations, Article 9, Section 1.2.1.1.] The Planning Commission reviews and makes the decision on site plans, with appeals to the City Council possible. Site plans are reviewed according to all of the applicable zoning district standards as well as Article 9 of the subdivision regulations (Site Plan Review Standards).

The following are the R-SF zoning standards

	I-LT Standards	Proposed Project
<i>Lot Area</i>	6,000 s.f.	53.44 acres (existing)
<i>Lot Width</i>	65'	2,085 approximately (existing)
<i>Lot Depth</i>	n/a	varies 850' to 1,095' approximately (existing)
<i>Height</i>	2.5 stories / 35' up to 75' for permitted public buildings + additional setbacks	Mix of 1- and 2-story elevations. Highest elevation (Area E and North elevations) is 31' 8"; Gym (Area A North elevation at 36'4" (this would require an additional setback of 1'4" at this location and it is far to the interior of the site.
<i>Front Setback</i>	30'	39'
<i>Side Setback</i>	10'	730' approximately
<i>Rear Setback</i>	30'	" (existing, no construction activity to the rear)
<i>Parking</i>	1 space for 4 seats or 1 space for 17 classroom seats ("Churches, Theaters, Auditorium, Schools, etc.)	The ordinance requirement can not be applied to this scale of plan (per seat requirements). The proposed plan shows an increase of 65 spaces (47 additional student stalls; 18 additional staff stalls). This represents an approximately 15% increase over the existing 419 stalls, which is comparable to the scale of the project. Under the ordinance requirement this would account for 8,228 classroom seats – well above the existing and projected enrollment.
<i>Landscape</i>	1 tree per 7,000 s.f. (uses other than single-family homes) Plus, Performance standards for screening site elements if not accounted for by allocation of the required plants.	<ul style="list-style-type: none"> • 333 trees required for 53.44 acre site, but existing trees may count provided they meet intent of standards. • Proposed: <ul style="list-style-type: none"> ○ 49 Deciduous trees ○ 10 Ornamental trees ○ 76 Shrubs ○ Ground cover and ornamental plants

Article 9 of the Subdivision Regulations include the City's Site Plan Standards and Review Criteria. They apply to any new construction in industrial districts [1.2.1.1]. They specifically include the following standards:

1. **Articulation of Wall and Roof Planes [3.1].** Buildings more than 2,000 square feet are required to have a 3-to-1 ration of facade articulation, meaning a building should not be more than 3 times its height wide, without offsets. The intent of this standard is to break up large expanses of walls and to add a three-dimensional quality to structures.

This plan proposes additions to a very large institutional building with a number of complex massing elements and elevations. Most elevations range from 16' to 36' high, depending on the section and the number of stories (1 to 2 stories, with a gymnasium.) Three times this is approximately 48' to 108' depending on the area. It is difficult to apply the above ration in this situation; however, the intent of this standard is to break up larger elements of wall planes into more discreet vertical massing components, to create a more human scale to larger buildings. Most of the elevation on this building accomplish this within the above ranges with one or a combination of two strategies – a rhythm of two-story window banks that include the 1st and second story windows, ganged with the grey metal panel accent material; and/or changes in the primary and secondary materials (red face brick and tan face brick). The areas of the building that do not use these techniques are either elevations that are more internal to the site and include service areas, or elevations associated with the gymnasium that are broken into an upper and lower wall plane with a material change. Therefore, the gymnasium does present a large, box-like mass. Although it is possible to break down the mass of this scale of building with the same techniques, it is also common that portions of institutional buildings like this present a more monumental mass. Further, entrances to both the school and the gymnasium are reserved for the most architectural details and human-scale design elements associated with public entrances.

2. **Cladding and Roofing Materials [3.2].** Acceptable materials are: masonry (stone, brick, decorative concrete block, stucco or gypsum concrete); glass (curtain walls or glass block); and wood (board & bat, clapboard, paneling). Metal buildings with a quality appearance are only acceptable in industrial districts. Other materials may be approved by the Planning Commission on a case-by-case basis.

The proposed building is primarily brick face (two tones – red and tan) with metal panel accents with two shades of gray. There are many metal materials that make excellent accent or even primary materials; however, the Planning Commission should request additional specifications on the metal to be used. In addition, a third corrugated metal panel seems to be proposed on the upper portion of the gym. Although not specified other than for industrial buildings, it is more appropriate for this larger and more utilitarian portion of the building.

3. **Visual Elements [3.3].** Retail or office portions of buildings require 50% of first story and 25% of upper stories of the facade and street walls to have design elements that allow visual penetration to the interior of buildings such as display units, windows and doors. The intent of this standard for industrial buildings is to break up monotonous, impersonal facades.

This provision is not necessarily applicable to this building, as there are not retail or office portions. However, the intent of this standard is met by the fact that public entrances have a high degree of transparency and human-scale details, and most facades along street elevations have the lower and upper story window banking described above.

4. **Color / Patterns / Textures for Facades and Street Walls [3.4].** Colors, patterns and textures of exterior buildings or coatings are to be compatible with existing surroundings. Extremely bright or fluorescent colors should be avoided.

This building is proposed to be red and tan brick, with grey metal accents. There is not a consistent building fabric in this area as it includes a mix of vacant lots, and strip commercial and service buildings. Further, due to the very large nature of this site and its location on a highway corridor, there is little relationship between this site and surrounding properties. The proposed materials and colors are compatible with the existing building.

5. **Axillary Elements [3.5 and Section 24-012.B].** Screening of mechanical equipment, trash, or loading areas for industrial buildings should be to the rear or otherwise create from the street or residential areas.

Mechanical equipment, trash and loading areas are not specifically designated on the site plan. However the elevations demonstrate that most service areas where these facilities are likely to be are internalized into the site where other building elements screen them from public views from the street. Prior to building permits, that applicant shall confirm that any ground mounted equipment, or trash enclosures are either screened with landscape materials or building elements with materials compatible to the overall design of the building. (24-012.C)

6. **Landscape [4.0 and Section 24].** A landscape plan is required to demonstrate buffering and screening, contribute to the overall appearance of the site, contribute to the character of the area, and help manage any runoff or similar mitigation of site impacts that can be accomplished with vegetation. Additionally, the I-LT district requires a 20' landscape strip to be maintained along all rights-of-way (17-011.G.).

The landscape plan proposes 49 deciduous trees, 10 ornamental trees and 78 shrubs. Most of this is associated with the parking lot landscape areas. The ordinance requires 1 tree per 7,000 square feet of lot for permitted non-residential uses in the R-SF district. On this large campus (53.44 acres), this would result in 333 trees. However, the ordinance allows existing trees on site to contribute to this requirement. The site includes a large wooded edge on the southern boundary at the transition to residential areas, associated with the creek. Additionally, construction activity will only occur on a portion of the site. Therefore, the proposed landscape plan is sufficient to meet the ordinance requirements and site design standards. However, staff may have additional recommendations on allocation of the species, planting specifications and specific locations prior to building permits.

7. **Parking [5-015 and Section 20].** The R-SF district requires 1 space for every 1,000 square feet of buildings and the parking shall be setback 10' from the property lines. Parking slots of more than 6 spaces require painted lines or curbs (20-101.F.). All parking shall be surface with a bituminous or concrete pavement meeting the standards and specifications of the City. Alternative materials may be approved for low use parking areas such as fire safety lanes or overflow parking. [20-010.H]

Schools require 1 parking space for every classroom seat. This requirement is very difficult to interpret and apply since it is not possible to count each classroom seat, and that number fluctuates and is easily manipulated. This issue is compounded with such a large school campus. With the reconfiguration of the circulation and parking areas, the plan proposes 65 new parking spaces (47 student and 18 staff), representing a 15% increase above the current number of 419.

Further, based on the ordinance requirement rate (1 space per 17 classroom seats) this would result in a student seat capacity of 8,228 potential seats – well above any reasonably anticipated enrollment. Therefore, the parking plan is considered sufficient.

[Note: there may be an issue with the parking area and setbacks in the northwest portion of the site. There is a difference in the property line on the site plans and the line that appears on Leavenworth GIS that will need to be reconciled prior to permits.]

8. **Stormwater [5.0].** Section 5.0 includes a variety of stormwater standards and performance criteria to be administered by the City Engineer. It includes provisions for engineering studies, stormwater management plans, or waivers of requirements for projects under certain thresholds..

The applicant submitted a stormwater study dated March 25, 2020. The City Engineer reviewed this study and the site plan, and determined that the project meets the City requirements for an exception to on-site detention of stormwater. See City Engineer Memo dated May 1, 2020.

9. **Exceptions [1.7].** Where site plans do not meet any of the standards, the Planning Commission may grant exceptions to the standards in the following situations: the standard would create a hardship beyond the control of the applicant; OR the exception is a minor modification where the intent and purpose of the standard is fulfilled.

Based on the information submitted, the application does not meet, or it is not clear that it meets, the following standards:

- *The requirement for offsets in the wall plane, since elevations span greater than a 3:1 ratio, are not required due to (a) the overall size and type of the building (a large, multi-massed institutional building); and (b) the intent of this requirement being met by the arrangement of windows, material changes, and other architectural details of the street-facing elevations.*
- *Metal materials as accent material be approved by the Planning Commission based on further specifications provided by the applicant.*
- *Parking in the front at northwest corner be verified in relation to property lines; all parking shall be on private property, and should any parking be located closer than 30' to the property line and exception be granted based on the wide rights-of-way, buffers, and overall distance of parking and circulation from the street.*

III. EFFECT OF DECISION

Approval of the site plan authorizes the applicant to proceed to building permits. Prior to issuance of these permits the applicant must submit construction documents demonstrate compliance with all standards of the City, demonstrate compliance with the approved site plan, and compliance with any conditions of the site plan approval. If the site plan is not approved by the Planning Commission, the applicant may appeal this decision to the City Council.

IV. Staff Recommendation

The Planning Commission may approve the site plan. However, any approval shall be based on the following:

1. The Planning Commission make a determination that offsets in the facade are not required due to the scale of the building and the alternative methods that break up street-facing components of the elevations.

2. The Planning Commission make a determination that the proposed metal materials (3 shades of grey metal for accent materials) are acceptable, based on more information on specifications submitted by the applicant.
3. The applicant shall confirm that all storage, mechanical equipment or other auxiliary elements shall be located behind the fenced area, or otherwise screened and not visible from the street. Specifications for any landscape or building materials necessary to meet the City ordinance shall be turned in at the time of building permits. Any other visible features shall require landscape screening.
4. Prior to building permits, the property line issues associated with Leavenworth GIS information on the US 24/40 ROW near the northwest parking lot and the corner of the new addition be verified and reconciled. A determination by staff that all applicable setbacks are met shall be made based on this verification.
5. The City Engineer report, and particularly conditions related to the utility relocation, be addressed prior to building permits. (See Memo dated 5/1/2020)
6. The Landscape plan is considered sufficient due to the scale of the project, the standards applied to a large camps site, and the existing wooded boundary to the south of the property. Staff may have additional recommendations on allocation of the species, planting specifications and specific locations prior to building permits.

If the Planning Commission determines that this application does not meet any of the standards, or that these recommended conditions to the standards or exceptions do not meet the intent and requirements, it may deny the application, stating the specific reasons for denial.



Chris Brewster, Contract City Planner
Gould Evans

CITY OF TONGANOXIE, KS ZONING MAP



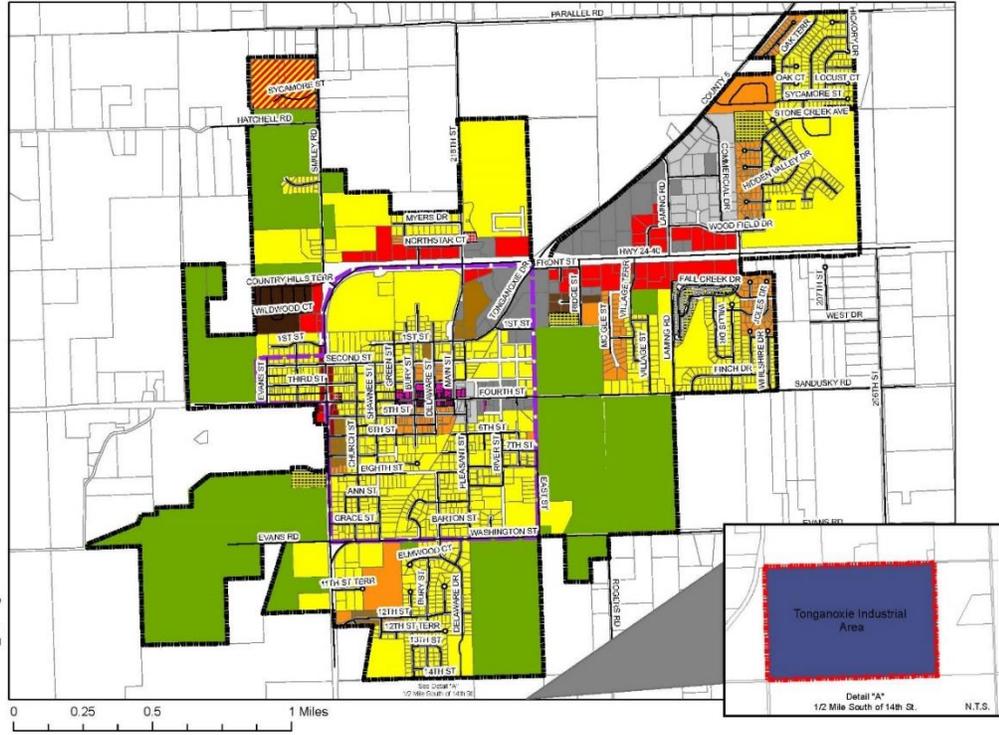
Zoning Classification

- Rural
- Res. Estate
- Single Family
- Multi-Fam. 1
- Multi-Fam. 2
- Multi-Fam. 3
- Manuf. Home Pk.
- Planned Res.
- Historic Bus.
- Ltd. General Bus.
- General Bus.
- Plan. Comm.
- Bus. Park
- Light Ind.
- Mod. Ind.
- Heavy Ind.
- Community Unit Pln.
- Unincorporated
- R-1 Infill Dist.
- City Limits

Revisions:
Date: March 11, 2013
Last Ordinance: 1353



Source Data: Map Layers were obtained from Leavenworth County, Kansas GIS Department. This map was created in Arc GIS 9.3.1 from the official AutoCAD map created and maintained by BG Engineers.



Current City Zoning (property in red box zoned GBD)



Area



Site



MEMO

To: George Brajkovic, City Manager
City of Tonganoxie

Cc: Dan Porter, Asst. City Manager
Kent Heskett, City Superintendent
John Zimbleman, Fire Chief
Chris Brewster, City Planner

From: Brian Kingsley, City Engineer

Date: April 28, 2020

Re: High School Addition
Site Plan, Waterline Plans, Sanitary Sewer Plans and Storm Water
Management Plan Review
20-1001L

The following are the City Engineer and staff review comments related to Engineering issues:

Storm Water Management Plan:

- 1) The applicant has submitted a storm water study dated 3-25-2020 for the Site modifications. The storm water management plan documents site discharge directly into the 100-yr floodplain meeting the exception to requiring storm water detention for the improvements.

Recommendation: The City should consider approval without condition for the storm water management plan.

Site Plan:

- 1) The applicant has submitted site plans on 3-18-2020.

Recommendation: The City should consider approval without condition for the site plan.

Waterline Construction Plans:

- 1) The applicant has submitted construction plans dated 3-12-2020 for waterline relocation to accommodate the site improvements.
- 2) Prior to the completion of construction, Fire Hydrants locations must meet current code and need to be coordinated and approved with the City of Tonganoxie Fire Chief.

Recommendation: The City should consider approval including conditions noted above for the waterline construction plans.

Sanitary Sewer Construction Plans:

- 1) The applicant has submitted construction plans dated 3-17-2020 for sanitary sewer relocation to accommodate the site improvements.
- 2) The applicant has submitted the construction plans to KDHE for a sanitary sewer relocation permit.

Recommendation: The City should consider approval without condition for the sanitary sewer construction plans.

--END

For questions or comments, please contact:

Brian Kingsley, PE

President

T: 785.727.7261

E: brian.kingsley@bgcons.com

SITE PLAN REVIEW APPLICATION
City of Tonganoxie, Kansas

Please complete all of the following information (type or print):

Project Name: Tonganoxie High School Addition/Renovation
Project Address/Location: 300 E State Avenue. Tonganoxie, KS
Description: New Construction Addition Exterior Remodel Tenant Finish
Other: _____

Send Review Comments To:

Contact Person: Josh Erhart, PLA
Company Name: DLR Group
Address: 7290 West 133rd Street.
City, State Zip: Overland Park, KS
Phone Number: 913-897-7811 Fax Number: _____

Owner/Developer (If different from above):

Contact Person: Loren FeldKamp, Superintendent
Company: Tonganoxie USD 464
Address: 330 E. HWY 24-40
City, State Zip: Tonganoxie, KS 66086
Phone Number: 913-416-1400 Fax Number: 913-416-1408

- Site Plan--buildings, walls, fences, exterior equipment, refuse disposal
- Landscape plan w/schedule
- Drainage calculations for City Engineer
- Elevations showing materials, colors, textures, etc.

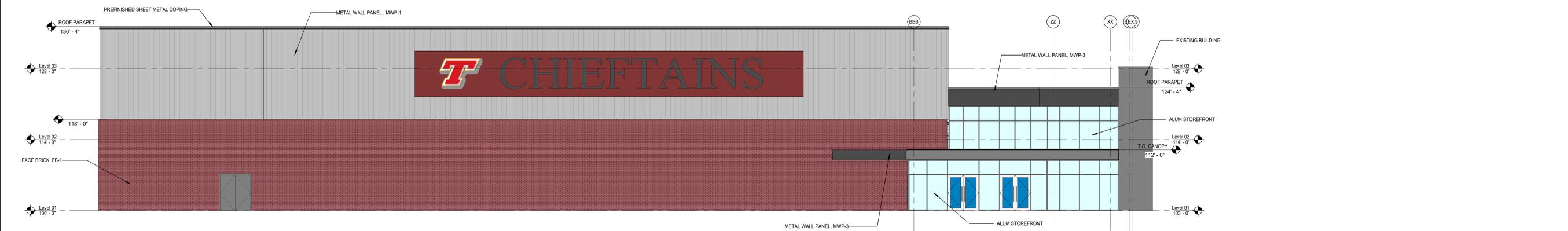
Date Submitted: 3/17/20 Fee Paid: TBD Received by _____

***It is the responsibility of the Applicant to read and comply with all of the regulations contained in the Site Review Ordinance. Applicant should anticipate a minimum 2 week review period by City staff. Any revisions required will require additional review time.**

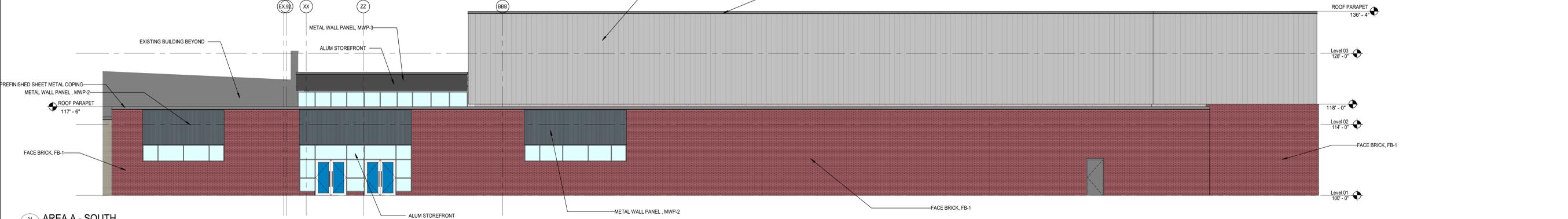
This site plan application is anticipation of a 4/2/20 Planning Commission.



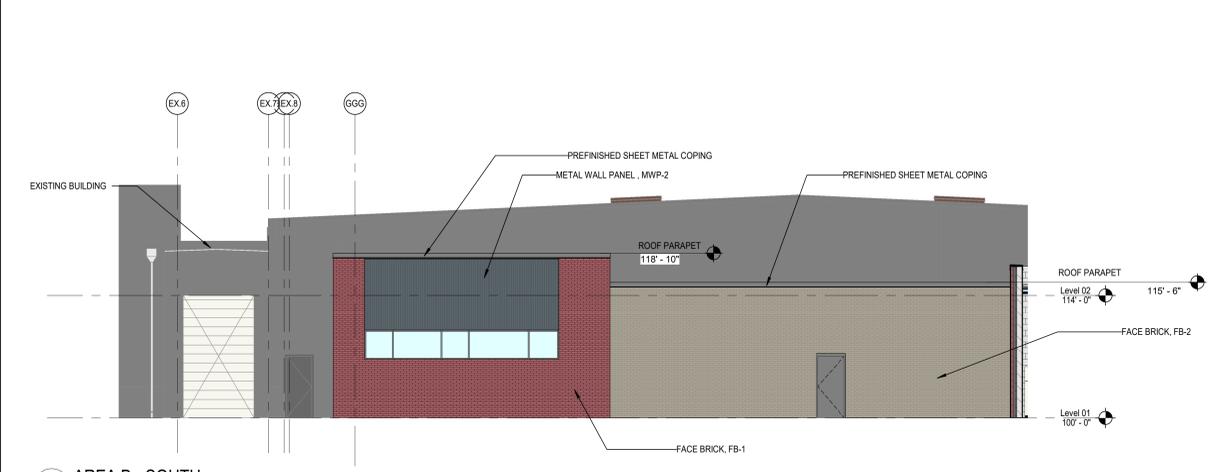
11 AREA A - EAST
A5.1 SCALE: 1/8" = 1'-0"



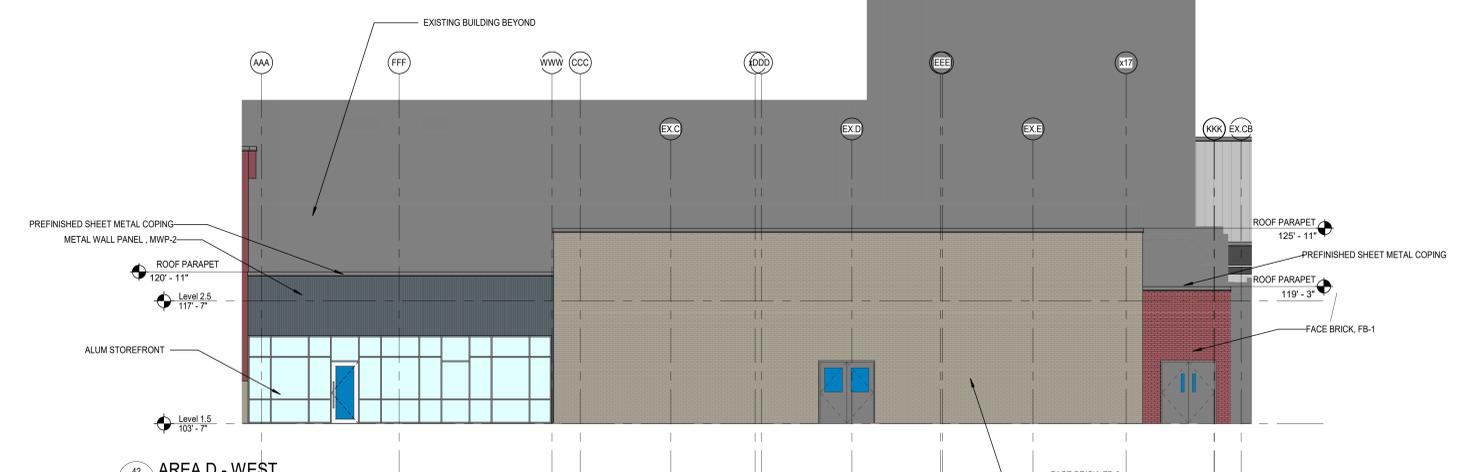
21 AREA A - North
A5.1 SCALE: 1/8" = 1'-0"



31 AREA A - SOUTH
A5.1 SCALE: 1/8" = 1'-0"



41 AREA B - SOUTH
A5.1 SCALE: 1/8" = 1'-0"



42 AREA D - WEST
A5.1 SCALE: 1/8" = 1'-0"

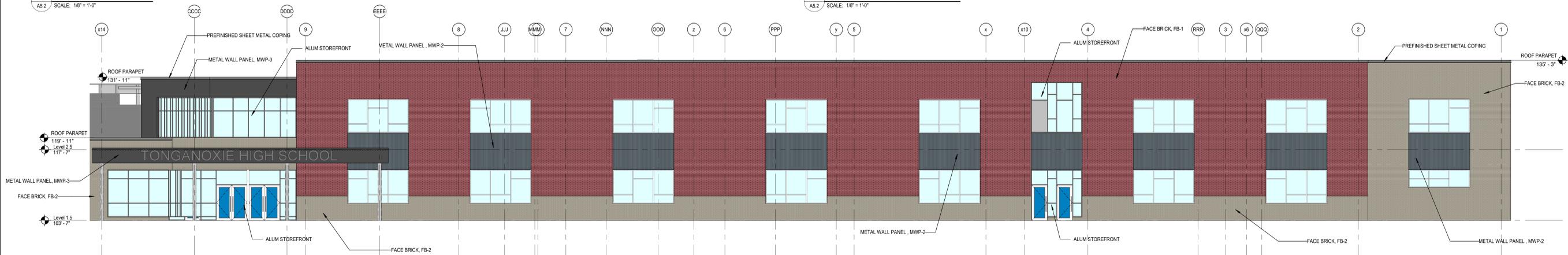


BM 360/112-19109-00 Tonganoxie High School/12-19109-00_Tonganoxie High School_AR_2019.rvt
 3/16/2020 9:25:21 AM

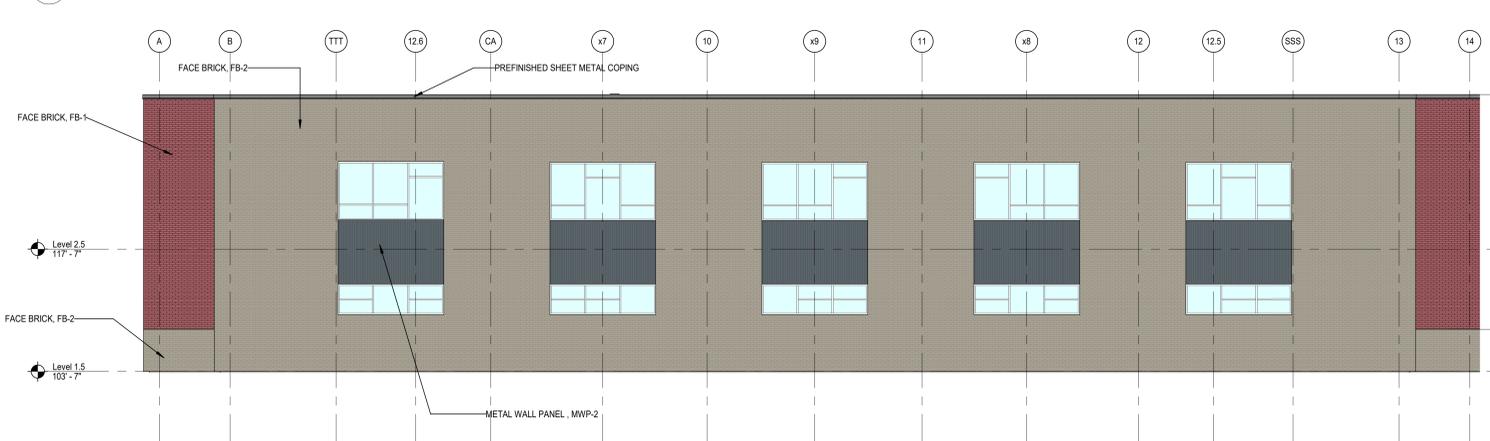


11 AREA E - EAST
 A5.2 SCALE: 1/8" = 1'-0"

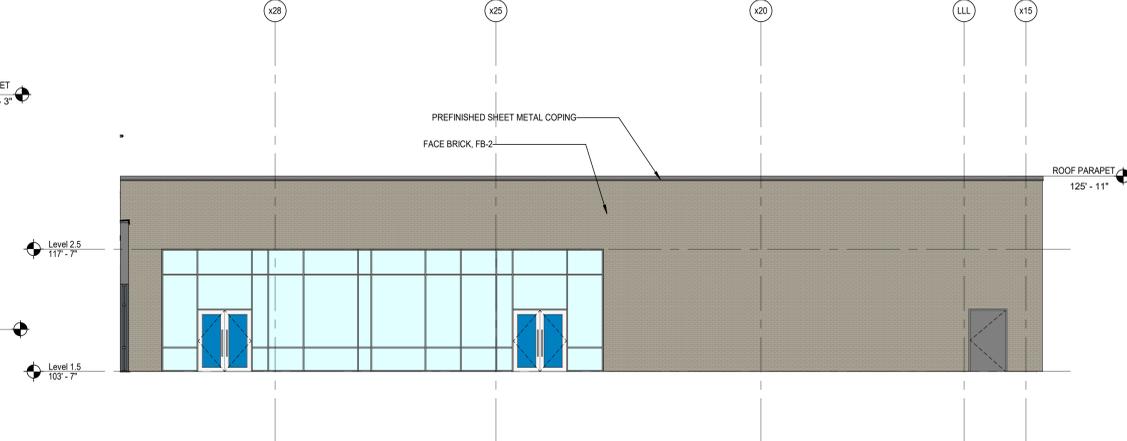
12 AREA E - NORTH
 A5.2 SCALE: 1/8" = 1'-0"



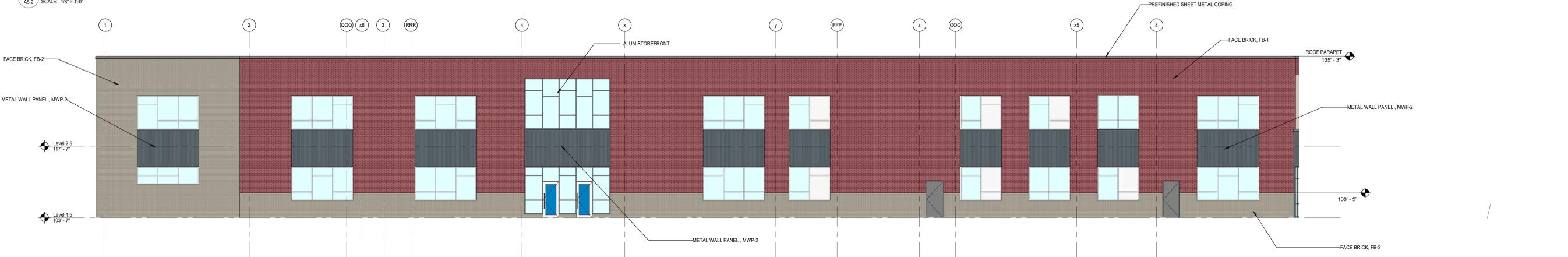
21 AREA F - NORTH
 A5.2 SCALE: 1/8" = 1'-0"



31 AREA F - WEST
 A5.2 SCALE: 1/8" = 1'-0"



32 AREA D - NORTH
 A5.2 SCALE: 1/8" = 1'-0"



41 AREA F - SOUTH
 A5.2 SCALE: 1/8" = 1'-0"

BM 360/112-19109-00 Tonganoxie High School/12-19109-00_Tonganoxie High School_AR_2019.rvt
 3/16/2020 11:27:12 AM

CORNERSTONE FAMILY WORSHIP

STATE AVENUE US 24-40

PROPOSED TONGANOXIE HIGH SCHOOL BUILDING ADDITION (56,790 S.F.)

EXISTING TONGANOXIE HIGH SCHOOL BUILDING TO REMAIN (71,911 S.F.)

PROPOSED TONGANOXIE HIGH SCHOOL BUILDING ADDITION (36,351 S.F.)

EXISTING TONGANOXIE HIGH SCHOOL BUILDING TO REMAIN (57,510 S.F.)

PROPOSED GREENHOUSE BUILDING (1,080 S.F.)

CAMPUS PARKING COUNT	
EXISTING STUDENT STALLS	269
EXISTING FLEX/STAFF STALLS	150
EXISTING TOTAL STALLS	419
PROPOSED STUDENT STALLS	316
PROPOSED FLEX/STAFF STALLS	168
PROPOSED TOTAL STALLS	484

OWNER/DEVELOPER:

TONGANOXIE BOARD OF EDUCATION
LOREN FELDKAMP
300 US-24 HIGHWAY
TONGANOXIE, KS 66086
p 913-416-1400
f N/A
LFELDKAMP@TONG464.ORG

LEAVENWORTH COUNTY BENCHMARK:

LEAVENWORTH COUNTY VERTICAL CONTROL NETWORK: LVCO-401.
ELEVATION = 907.7
PROJECT BENCH MARK

DESCRIPTION: AS PROVIDED IN TITLE REPORT

Tonganoxie Unified School District 464 a/k/a, Unified School District #464 a/k/a, Tonganoxie High School District #6 a/k/a, Rural High School #6

Tract 1

For a point of beginning, go on the South boundary line of the New No. 24 Highway 1020.00 feet East of the West boundary of Section 9, Township 11 South, Range 21 East of the 6th P.M.; thence running South parallel with the East line of the Northwest 1/4 of the Northwest 1/4 of said Section 9 a distance of 200 feet; from such a point of beginning continue South and parallel with the West line of said Section 9 a distance of 250 feet; thence East and parallel with the North line of said Section 9 to the East boundary line of the Northwest 1/4 of the Northwest 1/4 of said Section 9; thence North on the East Boundary line of the Northwest 1/4 of the Northwest 1/4 of said Section 9, a distance of 250 feet; thence West and parallel with the North line of said Section 9 to the point of beginning, in Leavenworth County, Kansas.

AND

Tract 2

A tract of land in the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of Section Nine (9), Township Eleven (11), Range Twenty-one (21), more fully described as follows: Beginning at a point 1,225.42 feet East and 197.58 feet South of the Northwest corner of said Section 9, said point of beginning also being on the South right-of-way line of U.S. 24-40 Highway; thence East 100.00 feet more or less along said right-of-way line to a point in the East line of Northwest Quarter of the Northwest Quarter of said Section 9; thence South 200.00 feet to a point; thence West 100.00 feet more or less to a point South of the point of beginning; thence North 200.00 feet to the point of beginning.

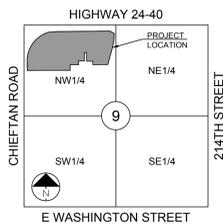
AND

All of Blocks D and I lying West of the Public Highway extending North from the North end of Main Street, Original Town of Tonganoxie to Highways 24 and 40. All of Block K lying West of said Highway and South of Highways 24 and 40. All of Block L lying South of Highways 24 and 40. All of Block E except a tract 100 feet North and South and 170 feet East and West, abutting to the West and South sides of said Block.

All of Block H.

AND

Block F less a tract described as follows: Commencing at the Southeast corner of said Block F, thence North one hundred four (104) feet, thence West one hundred sixty (160) feet to place of beginning. All of Block G, Block M except 1.45 acres of the North end used for Highways 24 and 40. Such described tracts all being in Magdalena Bury's Addition to Tonganoxie.

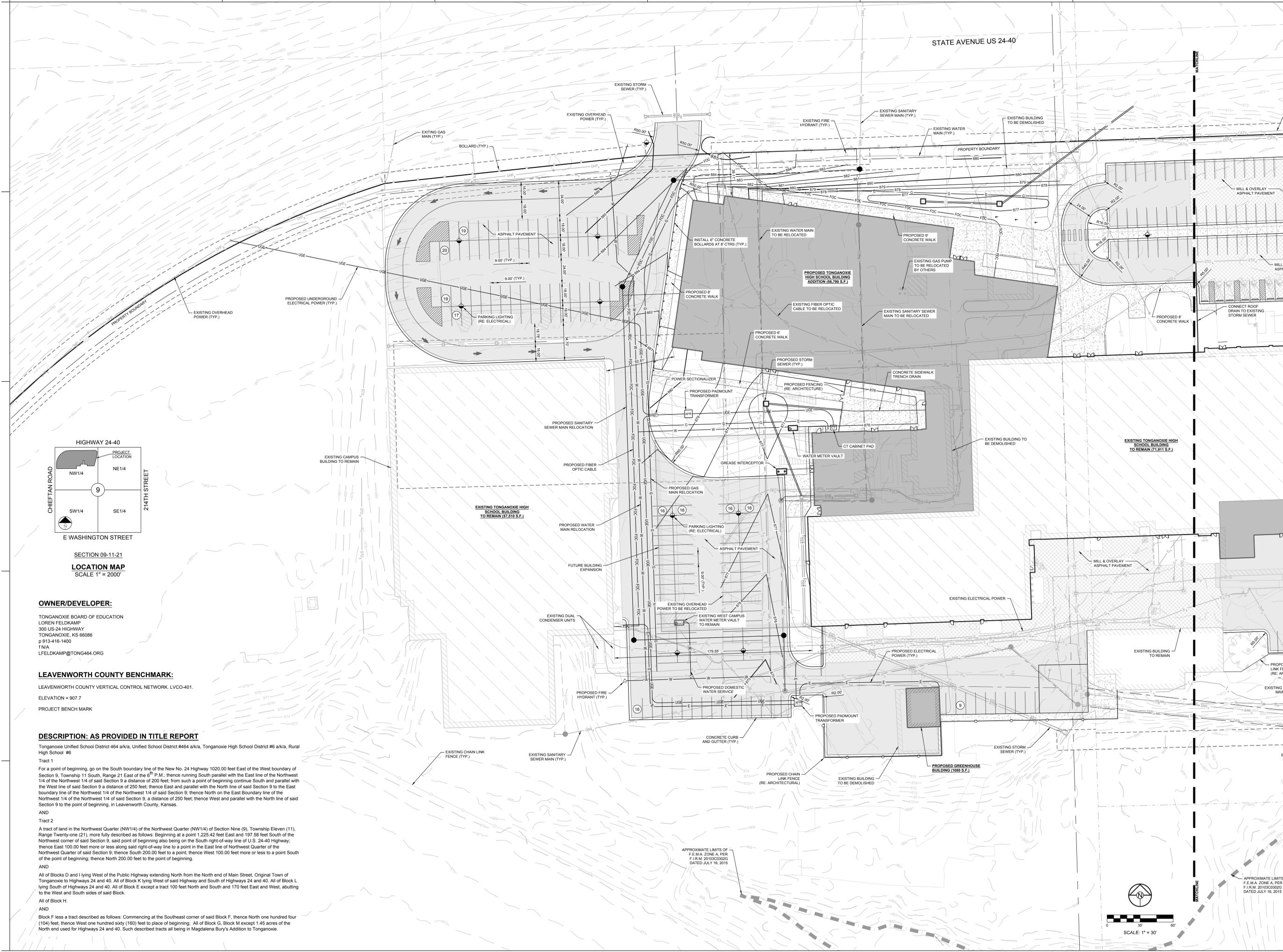


SECTION 09-11-21

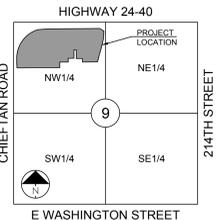
LOCATION MAP
SCALE 1" = 2000'



SCALE: 1" = 50'



STATE AVENUE US 24-40



SECTION 09-11-21
LOCATION MAP
SCALE 1" = 2000'

OWNER/DEVELOPER:

TONGANOXIE BOARD OF EDUCATION
LOREN FELDKAMP
300 US-24 HIGHWAY
TONGANOXIE, KS 66686
p 913-416-1400
f n/a
LFELDKAMP@TONG464.ORG

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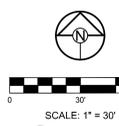
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All of Block H.

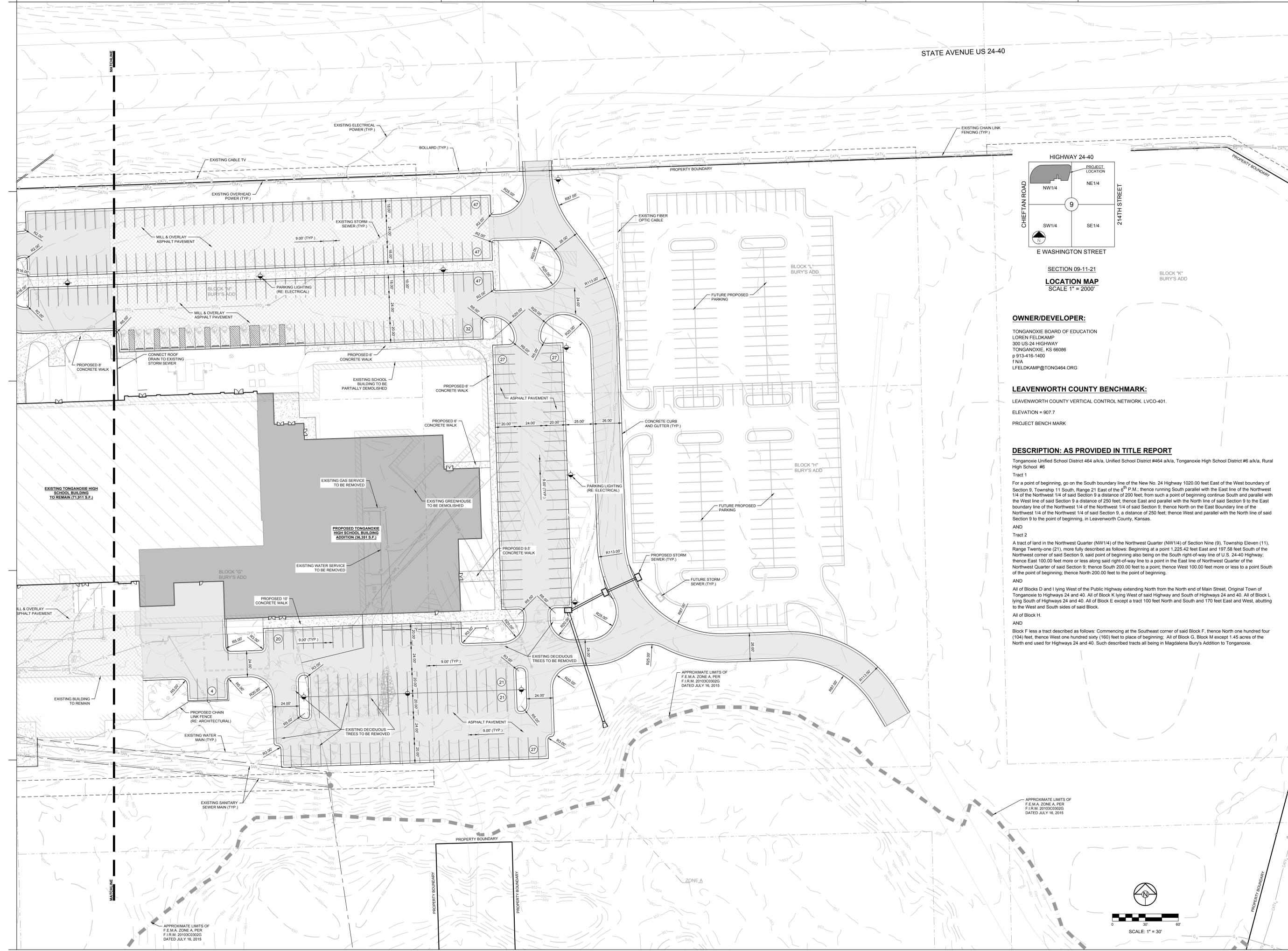
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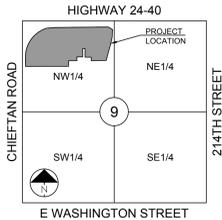


APPROXIMATE LIMITS OF
F.E.M.A. ZONE A PER
F.I.R.M. 20103C0302G
DATED JULY 16, 2015

APPROXIMATE LIMITS
F.E.M.A. ZONE A PER
F.I.R.M. 20103C0302G
DATED JULY 16, 2015



STATE AVENUE US 24-40



SECTION 09-11-21
LOCATION MAP
 SCALE 1" = 2000'

OWNER/DEVELOPER:

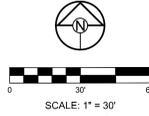
TONGANOXIE BOARD OF EDUCATION
 LOREN FELDKAMP
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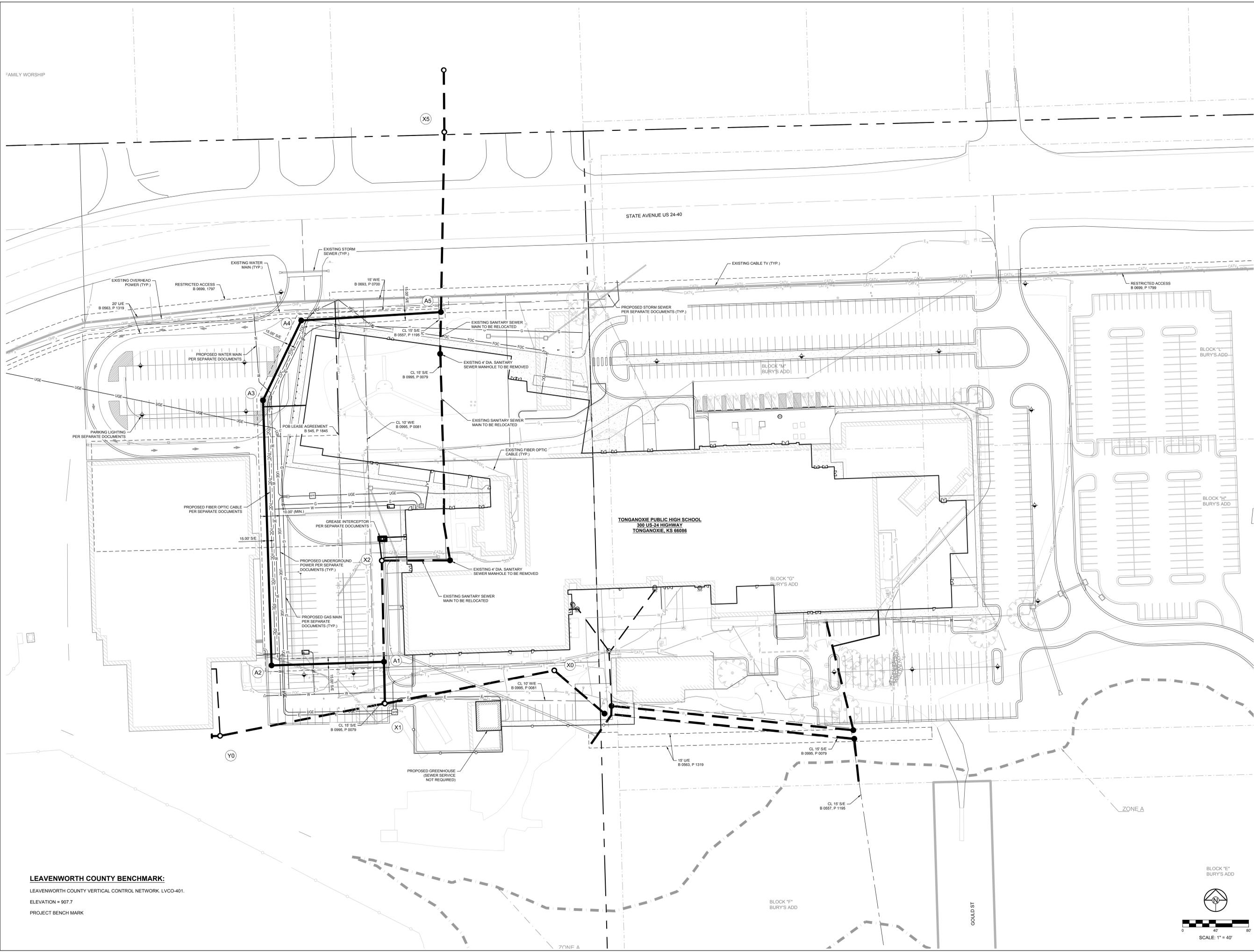
LEAVENWORTH COUNTY VERTICAL CONTROL NETWORK LVCO-401.
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FAMILY WORSHIP



LEAVENWORTH COUNTY BENCHMARK:
 LEAVENWORTH COUNTY VERTICAL CONTROL NETWORK, LVCO-401.
 ELEVATION = 907.7
 PROJECT BENCH MARK

TONGANOXIE PUBLIC HIGH SCHOOL
 300 US-24 HIGHWAY
 TONGANOXIE, KS 66086

BLOCK "E"
 BURY'S ADD



0 40 80
 SCALE: 1" = 40'

PREPARED BY:



SCHLAGEL & ASSOCIATES, P.A.

TONGANOXIE HIGH SCHOOL BUILDING RENOVATIONS
SANITARY SEWER MAIN RELOCATION PLANS
 300 US-24 TONGANOXIE, KANSAS, 66086

REVISION DATE	DESCRIPTION

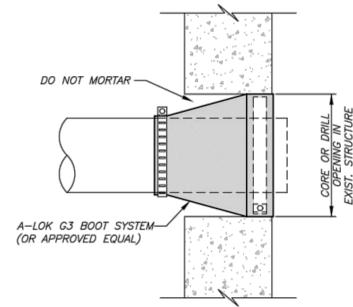
GENERAL LAYOUT

C21

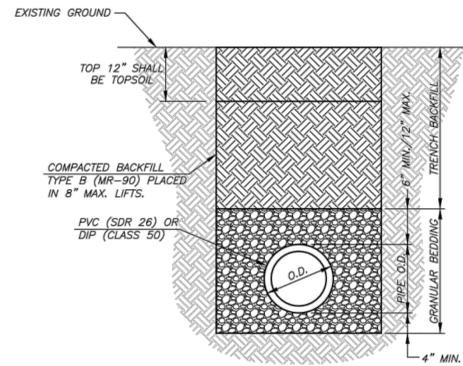
GENERAL NOTES FOR SANITARY SEWER CONSTRUCTION

- THE MINIMUM INSIDE DIAMETER OF THE MANHOLE SHALL BE 4'-0" FOR PIPE DIAMETERS FROM 12" THRU 24", 5'-0" FOR PIPE DIAMETER FROM 27" THRU 36" AND 6'-0" FOR PIPE DIAMETER 42" THRU 48". ALL MANHOLE BASES (PRECAST OR POURED-IN-PLACE) SHALL HAVE #4 REINF. BARS PLACED ON 6" CENTERS BOTH WAYS LOCATED AT MID-DEPTH OF THE BASE.
- PRECAST MANHOLES SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH ASTM C-478 AND THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT MINIMUM STANDARDS OF DESIGN.
- PRECAST MANHOLE WALL THICKNESS: THE MINIMUM WALL THICKNESS FOR MANHOLES WITH A HEIGHT LESS THAN 16" SHALL BE 1/2 THE INTERNAL SHELL DIAMETER OR 4", WHICHEVER IS GREATER. THE MINIMUM WALL THICKNESS FOR MANHOLES WITH A HEIGHT OF 16" OR GREATER SHALL BE 1/12 THE INTERNAL SHELL DIAMETER PLUS 1" OR 5", WHICHEVER IS GREATER.
- THE BOTTOM RISER AND THE BASE SHALL BE CAST TOGETHER AS ONE MONOLITHIC STRUCTURE.
- REINFORCING STEEL:
 - 5.1. REINFORCING BARS SHALL CONFORM TO ASTM A-615 (GRADE 60) SPECIFICATIONS.
 - 5.2. WELDED WIRE FABRIC SHALL MEET ASTM A-185 SPECIFICATIONS.
 - 5.3. CUTTING AND PLACING OF REINFORCEMENT SHALL COMPLY WITH ACI 318.
- CONCRETE:
 - 6.1. ALL PRECAST AND CAST-IN-PLACE CONCRETE SHALL BE AIR-ENTRAINED, PORTLAND CEMENT CONCRETE WITH THE FOLLOWING PROPERTIES:

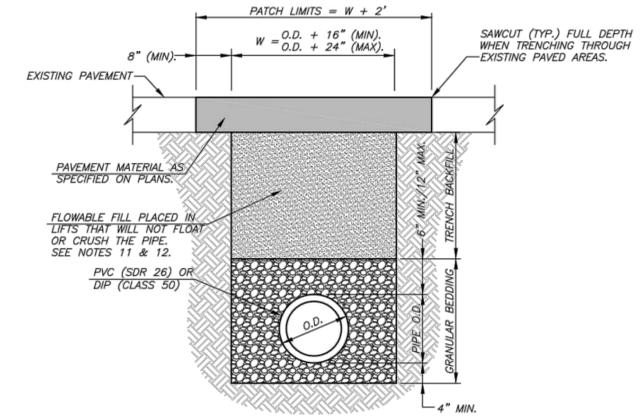
MINIMUM 28-DAY COMPRESSIVE STRENGTH	4000 PSI
MAXIMUM WATER/CEMENT RATIO	0.40
COARSE AGGREGATE	KDOT CLASS 1
AIR CONTENT	4% TO 8%
SLUMP	2" TO 4"
 - 6.2. READY-MIX CONCRETE SHALL COMPLY WITH ASTM C-94 SPECIFICATIONS.
- PRECAST MANHOLES FOR NEW SANITARY SEWER CONSTRUCTION SHALL BE FABRICATED USING A-LOK X-CEL (OR APPROVED EQUAL) FLEXIBLE-TO-MANHOLE CONNECTORS CAST INTEGRAL IN THE MANHOLE WALL.
- CONNECTION OF NEW SANITARY SEWER CONSTRUCTION TO EXISTING STRUCTURES SHALL BE ACCOMPLISHED USING AN A-LOK G3 BOOT SYSTEM (OR APPROVED EQUAL) AS SHOWN IN THE DETAIL (THIS SHEET) AND INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- MASTIC MATERIAL SHALL BE USED AT ALL SECTIONS JOINTS. O-RINGS MAY BE USED FOR JOINTS BELOW THE CONE SECTION, BUT NOT FOR THE CONE SECTION ITSELF.
- STEPS SHALL BE OMITTED FROM MANHOLES. THE CONTRACTOR HAS THE OPTION TO HAVE PRECAST MANHOLES FABRICATED WITH STEPS FOR ACCESS DURING CONSTRUCTION, BUT THE CONTRACTOR WILL BE REQUIRED TO CUT OFF THE STEPS AND GRIND THE EMBEDDED MATERIAL SMOOTH/FLUSH WITH THE INSIDE OF THE MANHOLE PRIOR TO THE CITY'S ACCEPTANCE OF WORK.
- FLOWABLE FILL SHALL BE A LOW STRENGTH (DIGGABLE) MIX AS SPECIFIED IN THE KDOT STANDARD SPECIFICATIONS.
- ALTERNATIVE TO FLOWABLE FILL: FOR TRENCHES 5 FEET OR LESS IN DEPTH, THE CONTRACTOR MAY USE COMPACTED AB-3 FOR TRENCH BACKFILL IN COMPLIANCE WITH THESE SPECIFICATIONS. TRENCH DEPTH SHALL BE MEASURED FROM THE BOTTOM OF THE TRENCH EXCAVATION TO THE EXISTING GROUND ELEVATION MEASURED AT THE ALIGNMENT OF THE SANITARY SEWER.
 - 12.1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CITY OF TONGANOXIE WITH A REPORT FROM AN INDEPENDENT TESTING LABORATORY SUMMARIZING THE EVALUATION OF THE PROPOSED AB-3 MATERIAL AND RECOMMENDATIONS REGARDING THE MINIMUM CONSTRUCTION REQUIREMENTS OF THE PROPOSED AB-3 MATERIAL. THE REPORT AND EVALUATION OF THE AB-3 MATERIAL SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF KANSAS.
 - 12.2. MINIMUM CONSTRUCTION REQUIREMENTS FOR COMPACTED AB-3 TRENCH BACKFILL SHALL BE AS SPECIFIED IN THE GEOTECHNICAL ENGINEERING REPORT, BUT IN NO INSTANCE SHALL THE MINIMUM REQUIREMENTS BE LESS STRINGENT THAN AS SPECIFIED BELOW.
 - 12.2.1. THE MAXIMUM COMPACTED THICKNESS OF ANY LAYER/LIFT OF AB-3 SHALL BE 6 INCHES THICK. THE CITY MAY ALLOW ANY LAYER/LIFT TO BE INCREASED TO 8 INCHES THICK WHEN VIBRATING COMPACTION EQUIPMENT IS UTILIZED AND ACHIEVES THE MINIMUM COMPACTION REQUIREMENTS BELOW.
 - 12.2.2. COMPACT EACH LAYER/LIFT TO A MINIMUM UNIFORM DENSITY OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR.
 - 12.2.3. THE AB-3 MATERIAL SHALL BE PUGGED WITH A SUFFICIENT QUANTITY OF POTABLE WATER TO ALLOW COMPACTION OF THE MIXTURE TO THE SPECIFIED DENSITY.
 - 12.3. CERTIFIED DENSITY TESTING OF THE COMPACTED AB-3 TRENCH BACKFILL SHALL BE PERFORMED ON EACH LAYER/LIFT BY AN INDEPENDENT TESTING COMPANY. ALL COSTS FOR SUCH TESTING ARE TO BE BORNE BY THE CONTRACTOR WITH THE SELECTED INDEPENDENT TESTING COMPANY APPROVED BY AND REPORTING DIRECTLY TO THE CITY OF TONGANOXIE.
 - 12.4. THE ABOVE SPECIFICATIONS SHALL APPLY TO THE TOP 5 FEET OF TRENCH BACKFILL FOR TRENCH DEPTHS EXCEEDING 5 FEET DEEP, PROVIDED FLOWABLE FILL IS UTILIZED AS TRENCH BACKFILL BELOW THE 5 FOOT DEPTH AND HAS ACHIEVED SUFFICIENT STRENGTH PRIOR TO PLACING COMPACTED AB-3 TRENCH BACKFILL.



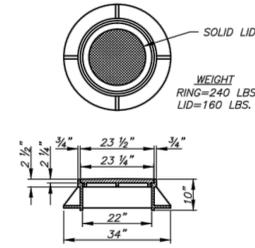
EXISTING MANHOLE CONNECTION DETAIL



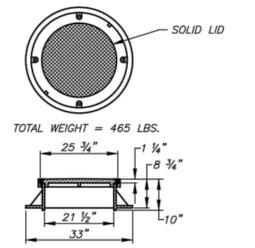
TRENCH DETAIL OUTSIDE OF PAVEMENT



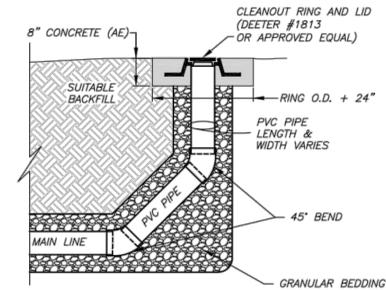
TRENCH DETAIL UNDER PAVEMENT (STREET, DRIVEWAY OR SIDEWALK)



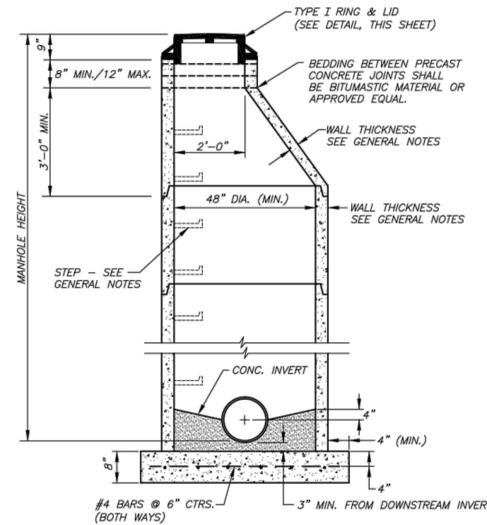
TYPE I RING AND LID
CLAY & BAILEY #2008, DEETER #1315, OR APPROVED EQUAL.



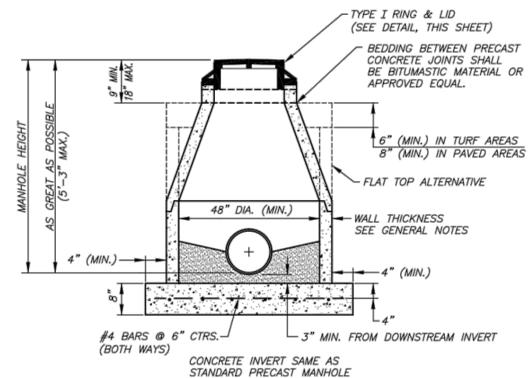
TYPE II SEAL DOWN RING AND LID
CLAY & BAILEY #2014, DEETER #1313, OR APPROVED EQUAL.



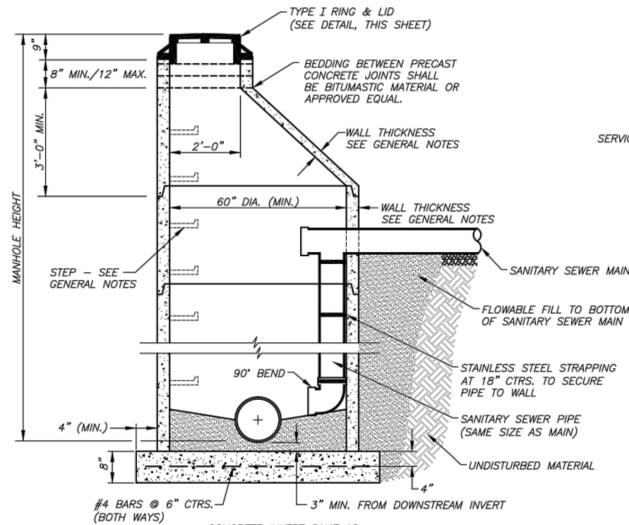
SANITARY CLEANOUT DETAIL



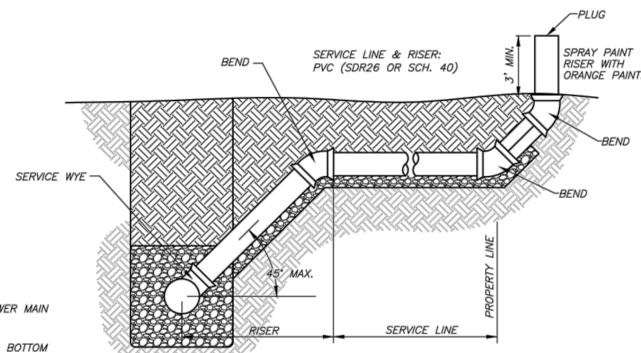
STANDARD PRECAST MANHOLE (ECCENTRIC CONE)



SHALLOW PRECAST MANHOLE (CONCENTRIC CONE OR FLAT TOP)



PRECAST INSIDE-DROP MANHOLE (ECCENTRIC CONE)



STANDARD INSTALLATION SERVICE LINE AND RISER DETAILS

REVISION DATE	DESCRIPTION	DATE
1	Revised General Note 11 and added General Note 12.	01/31/2017
Rev.	REVISIONS	

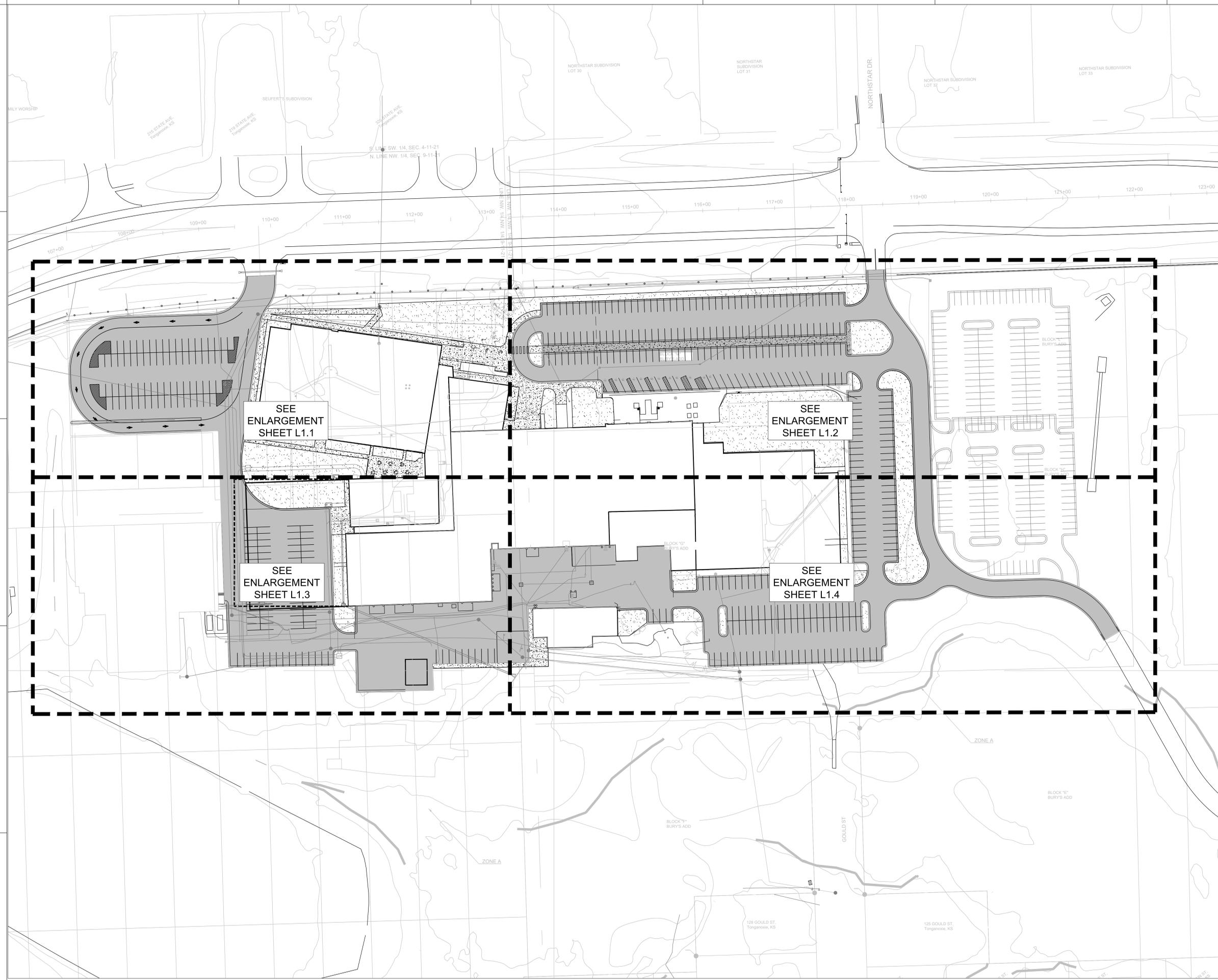
Public Works Department
City Standard Details
2017 Edition

SANITARY SEWER DETAILS #1

City Engineer: Brian Kingsley, P.E. (BG Consultants, Inc.)

Sheet No. ___ of ___

REVISION DATE	DESCRIPTION
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10



- LAYOUT NOTES:**
1. THE CONTRACTOR WILL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES BEFORE COMMENCING WORK. THE CONTRACTOR WILL CONDUCT HIS WORK SO AS TO PREVENT INTERRUPTION OF SERVICE OR DAMAGE TO THEM. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES AND STRUCTURES.
 2. ALL CURBS RAMP TO BE BUILT IN COMPLIANCE WITH FEDERAL ACCESSIBILITY STANDARDS.
 3. PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL WORK WILL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
 5. VERIFY LAYOUT COORDINATES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO SUPPLY AND INSTALL ALL REQUIRED SLEEVES UNDER PAVING AND WALKS.
 7. PLACE DOWELLED EXPANSION JOINTS AT VERTICAL ELEMENTS (BUILDING, COLUMNS, WALLS, BACK OF CURBS, ETC.) AND STAIRS AND RAMPS AND APPROXIMATELY EVERY 90 LINEAR FEET. RE: CIVIL DRAWINGS.
 8. WHERE NEW PAVEMENTS ARE CALLED FOR, PROVIDE AN EXPANSION JOINT AROUND ALL EXISTING UTILITIES, MANHOLES, POLES, LIGHTS, ETC.
 9. SAWCUT JOINTS BETWEEN CRITICAL POINTS ARE TO BE EQUALLY SPACED, OR AS SHOWN ON DRAWINGS.
 10. CONTRACTOR TO CONFIRM HORIZONTAL CONTROL POINTS IN THE FIELD. CONTRACTOR TO VERIFY HORIZONTAL CONTROL POINTS WITH HORIZONTAL COORDINATE POINTS.
 11. ALL EXPOSED CONCRETE WALLS WILL HAVE A CONSISTENT RUBBED FINISH. CONTRACTOR TO PROVIDE MINIMUM 4 SQUARE FEET MOCK-UP FOR REVIEW AND APPROVAL.
 12. CONTRACTOR TO PROVIDE MOCK-UP (4'X4') OF ALL DECORATIVE AND TYPICAL CONCRETE WALKS FOR REVIEW AND APPROVAL. ALL CONCRETE SIDEWALKS TO HAVE MEDIUM BROOM FINISH TRANSVERSE TO PEDESTRIAN TRAFFIC, UNLESS OTHERWISE INDICATED. MOCK-UP TO REMAIN ON SITE THROUGHOUT CONSTRUCTION.
 13. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS, AND COOLERS, SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 14. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND. RE: CIVIL.

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OVERALL LAYOUT PLAN



NOT FOR CONSTRUCTION

Consultant Logo

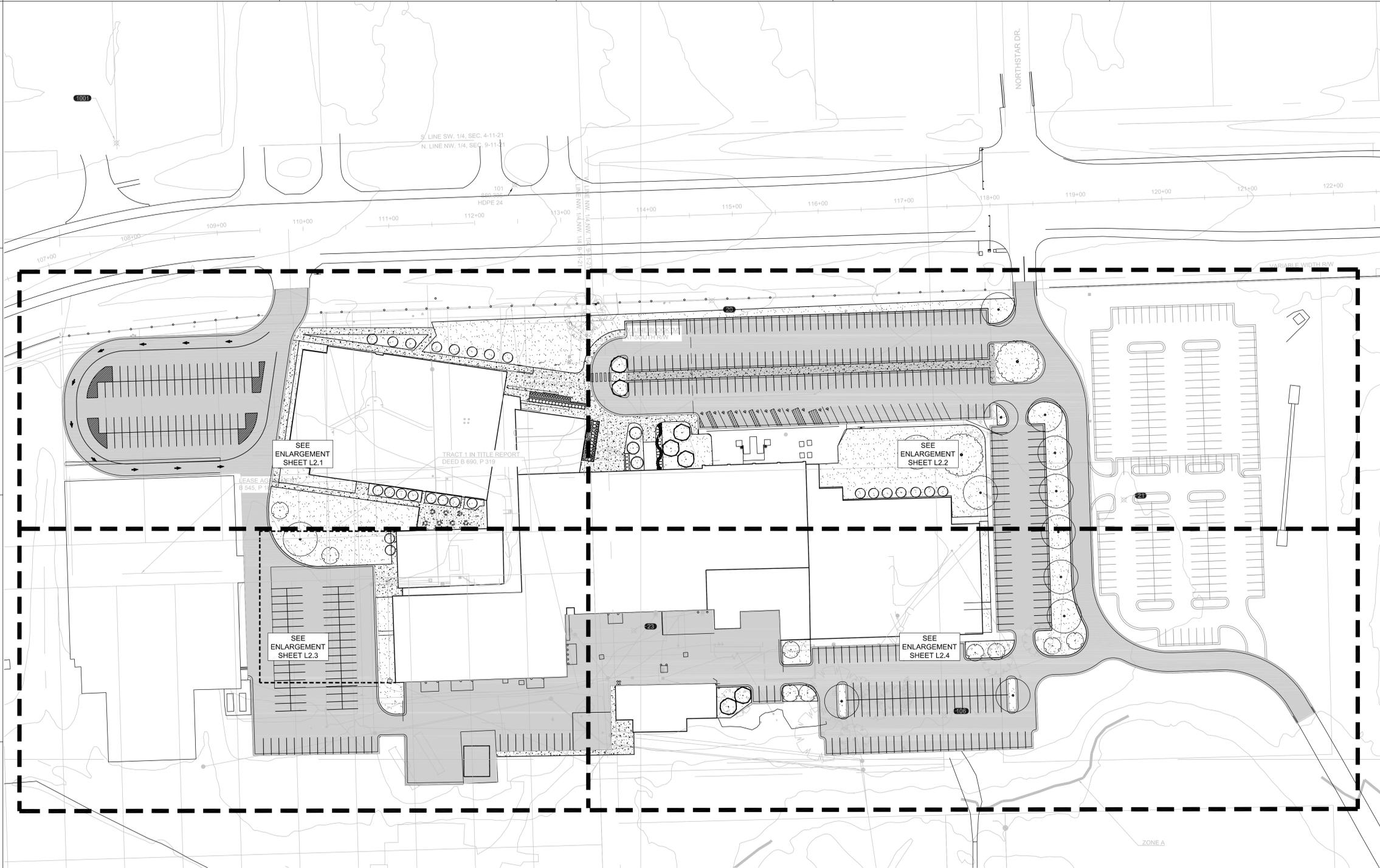


TONGANOXIE HIGH SCHOOL
 TONGANOXIE USD 464
 300 East State Avenue, Tonganoxie, KS 66606

Project Status
 Issue Date
 REVISIONS

12-19109-00
 LAYOUT PLAN

L1.0



LANDSCAPE NOTES:

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2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
3. EXISTING UNDERGROUND (U/G) UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO NOTIFY THE UTILITY COMPANIES TO LOCATE UTILITIES BEFORE ACTUAL CONSTRUCTION.
4. THE CONTRACTOR WILL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS.
5. SUBSTITUTIONS WILL BE ALLOWED ONCE THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION IN THE SUBSTITUTION REQUEST FORM TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS WILL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
6. SIZE AND QUALITY OF PLANT MATERIAL WILL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60-1992, OR MOST RECENT EDITION.
7. ALL PLANT MATERIAL WILL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES WILL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR WILL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING POSITIVE SURFACE DRAINAGE IS PROVIDED IN ALL PLANTING AND TURF AREAS. ALL GRADE SURFACES WILL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR WILL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT/OWNER FOR RESOLUTION PRIOR TO FINAL OPERATIONS.
9. THE CONTRACTOR WILL REPORT SUB-SURFACE SOIL OR DRAINAGE ISSUES TO THE LANDSCAPE ARCHITECT.
10. CONTRACTOR SHALL STAKE PLANT LOCATIONS IN THE FIELD AND HAVE APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE PLANT PITS ARE EXCAVATED AND BEFORE PROCEEDING WITH INSTALLATION.
11. TREES, SHRUBS & GROUND COVERS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
12. CONTRACTOR TO PLACE MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS UNLESS OTHERWISE NOTED, TO A DEPTH OF 3" OR AS DESCRIBED IN THE SPECIFICATIONS. ALL PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH SPECIFIED EDGING OR CONCRETE CURB EDGE PER DRAWINGS.
13. ELEVATION OF TOP OF MULCH SHALL BE 1/2" MIN. BELOW ANY ADJACENT PAVEMENT OR 2" MIN. BELOW FINISHED FLOOR ELEVATION.
14. ALL SHRUB BEDS SHALL BE MULCHED WITH SPECIFIED ORGANIC OR DECORATIVE AGGREGATE MULCH AND SEPARATED FROM LAWN AREAS WITH SPECIFIED EDGING OR CONCRETE CURB EDGE PER DRAWINGS.
15. CONTRACTOR SHALL FINE GRADE AND SEED ALL AREAS DISTURBED DURING CONSTRUCTION AND ESTABLISH NEW LAWN AREA, NOT DESIGNATED FOR SOIL NATIVE MEADOW, OR PLANTING BEDS. CONTRACTOR TO SEED ALL AREAS WITHIN CONTRACT LIMITS NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS UNLESS OTHERWISE NOTED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ACTUAL AREAS OF SEED AND QUANTITIES REQUIRED FOR COVERAGE.
17. ALL PLANT MATERIALS DELIVERED TO THE SITE FOR APPROVAL AND INSTALLATION SHALL BE IDENTIFIED AND TAGGED, TO ENSURE THE PLANTS PROVIDED ARE AS SPECIFIED. PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
18. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
19. PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR CONVENIENCE ONLY. PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLANS.
20. SPACING OF ALL PLANTINGS TO BE AS SHOWN ON PLANS.
21. ALL LANDSCAPE AREAS AND PLAYING FIELD AREAS TO HAVE A MINIMUM OF 6" TOPSOIL.
22. ALL TURF AREAS TO HAVE 4" MINIMUM OF IMPORTED TOPSOIL - SEE SPECS FOR SOIL AMENDMENTS.
23. PROVIDE, INSTALL, AND INCORPORATE SOIL AMENDMENTS PER RECOMMENDATIONS PER THE SOILS REPORT.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	13	Acer saccharum 'Majesty' TM / Flax Mill Majesty Sugar Maple	B&B	8'-10' HT.
	9	Carpinus caroliniana 'IFS-KW6' TM / Native Flame Hornbeam	B&B	8'-10' HT.
	25	Liriodendron tulipifera 'Little Volunteer' / Little Volunteer Tulip Tree	B&B	8'-10' HT.
	2	Quercus alba / White Oak	B&B	8'-10' HT.
FLOWERING TREE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	3	Cornus florida 'Appalachian Snow' / Dogwood Appalachian Snow	B&B	8'-10' HT.
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	7	Amelanchier canadensis 'Prince William' / Prince William Serviceberry	B&B	8'-10' HT.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	12	Cephalanthus occidentalis 'SMCOSS' / SUGAR SHACK Buttonbush	3 GAL	
	32	Ilex glabra 'SMNIGAB17' TM / Gem Box Inkberry Holly	3 GAL	
	34	Lavandula angustifolia 'Hidcote Superior' / Hidcote Superior Lavender	3 GAL	
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	27	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 GAL.	
	130	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem	1 GAL.	

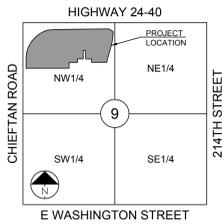
OVERALL LANDSCAPE PLAN



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LEGEND:

- A/E - ACCESS EASEMENT
- BC - BACK OF CURB
- B/B - BACK TO BACK
- BM - BENCHMARK
- BL or B.L. - BUILDING LINE
- CO - CLEANOUT
- TJB - TELEPHONE JUNCTION BOX
- C&G - CURB AND GUTTER
- D/E - DRAINAGE EASEMENT
- E/E - ELECTRICAL EASEMENT
- EL - ELEVATION
- FL - FLOW LINE
- G/E - GAS LINE EASEMENT
- HDPE - HIGH-DENSITY POLYETHYLENE
- L/E - LANDSCAPE EASEMENT
- MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
- PVC - POLYVINYL CHLORIDE
- P/L - PROPERTY LINE
- PUB/E - PUBLIC EASEMENT
- RCP - REINFORCED CONCRETE PIPE
- ROW or R/W - RIGHT-OF-WAY
- S/E - SANITARY SEWER EASEMENT
- SL - SERVICE LINE
- SW - SIDEWALK
- TE - TOP ELEVATION
- U/E - UTILITY EASEMENT
- WSE - WATER SURFACE ELEVATION
- W/E - WATERLINE EASEMENT
- ASPHALT PAVEMENT - EXISTING
- ASPHALT PAVEMENT - PROPOSED
- CONCRETE PAVEMENT - EXISTING
- CONCRETE PAVEMENT-PROPOSED
- CONCRETE SIDEWALK - EXISTING
- CONCRETE SIDEWALK - PROPOSED
- CURB & GUTTER
- CURB & GUTTER - EXISTING
- TREELINE
- EXISTING LOT AND RAV LINES
- EXISTING PLAT LINES
- P/L - PROPERTY LINES
- ROW - RIGHT-OF-WAY
- SANITARY SEWER MAIN
- SANITARY SEWER MAIN - EXIST.
- STO - STORM SEWER
- STORM SEWER - EXISTING
- CABLE TV - EXISTING
- FIBER OPTIC CABLE - EXISTING
- TELEPHONE LINE - EXIST.
- E₁ - ELECTRIC LINE - EXISTING
- OHP₁ - OVERHEAD POWER LINE - EXIST.
- U₁ - UNDERGROUND ELECTRIC - EX.
- G₁ - GAS LINE - EXISTING
- W₁ - WATERLINE - EXISTING
- LIGHT - EXISTING
- EXISTING MANHOLE
- CLEANOUT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING AREA INLET
- EXISTING CURB INLET
- EXISTING GRATE INLET
- EXISTING JUNCTION BOX
- EXISTING STORM MANHOLE



SECTION 09-11-21
LOCATION MAP
SCALE 1" = 2000'

UTILITY COMPANIES:

TONGANOXIE PUBLIC WORKS DEPARTMENT
WATER, SANITARY & STORM SEWER
KENT HESKETT, PUBLIC WORKS DIRECTOR
C:913-280-6590
KHESKETT@TONGANOXIE.ORG

EMERGENCY CONTACT (AFTER HOURS):
JAMES MCCUTCHEEN
C:913-290-0446

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KANSAS ONE CALL
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MIDCONTINENT COMMUNICATIONS
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RICHARD PARNELL, FIELD ENGINEER
RICHARD.PARNELL@MIDCO.COM

WATER MAIN RELOCATION PLANS FOR TONGANOXIE HIGH SCHOOL BUILDING RENOVATIONS

IN THE CITY OF TONGANOXIE LEAVENWORTH COUNTY, KANSAS, 66086

Sheet Number	Sheet Title
C30	COVER SHEET
C31	GENERAL LAYOUT
C32	WATER LINE A
C33	STANDARD WATERLINE DETAILS
C34	STANDARD WATER METER DETAILS

GENERAL NOTES FOR CONSTRUCTION PLANS:

- These plans have been prepared in accordance with the City of Tonganoxie design guidelines and storm water drainage standards. The city engineer's review is only for general conformance with these standards. The city did not verify and is not responsible for the accuracy and adequacy of the design, dimensions, elevations and quantities. The City of Tonganoxie and BG Consultants shall be held harmless for errors and omissions as stated herein. The design engineer is responsible for complying with all city standards as well as generally accepted engineering design standards and principles, including items which may have been overlooked during the city's review. These plans are accepted for one year from the date of approval, after which they become void unless construction has been completed and approved.
- Specifications for most of the work to be performed on this project are located in the "City of Tonganoxie Standard Specifications for Water and Sanitary Sewer Construction". Specifications covering the remainder of the work are located in the "Standard Specifications for State Road and Bridge Construction", published by the Kansas Department of Transportation, 2007 Edition.
- The contractor shall schedule a preconstruction meeting with the city superintendent and representative from BG Consultants prior to beginning construction. The city administrator shall issue a notice to proceed for construction once the proper bonding is in place and preconstruction meeting has taken place.
- Construction observation services shall be provided by the city and paid for by the owner. Contractor to provide a proposed construction schedule. BG Construction observation staff will use this information to provide an estimate of probable construction observation cost to the developer based upon this schedule.
- A geotechnical engineer shall be present on site for testing and during proof-rolling of all subgrade prior to placing surfacing. The contractor shall be responsible for coordinating the scheduling of this work and availability of the geotechnical engineer. Geotechnical engineering services will be paid for by the contractor.
- All clearing debris shall be disposed of in accordance with the City of Tonganoxie regulations.
- Class C flyash shall be used for treatment of the subgrade (9" thickness). Flyash shall be added to the subgrade at a rate of 12%-15% based on dry unit weight. The contractor shall submit certifications verifying the flyash complies with the requirements of ASTM D5239 6.4 & ASTM C-18, prior to use. Only potable water will be allowed. Equipment necessary for proper blending of the soil flyash mixture shall be by a Bomag MPH 100 or equivalent. Initial compaction shall be done using a vibratory pad foot roller. Temporary storage (less than 12 hours) of flyash in open pits will be allowed provided flyash is protected from rain and ground water. The contractor shall provide city construction observer with weight tickets from certified public scales for the flyash delivered to the project. Areas to be stabilized shall be cut & shaped in conformance with the lines and grades shown on the plans. Soft or yielding subgrades shall be scarified and compacted until it is uniformly stable. During the spreading, mixing and compaction operation, the contractor shall have on site a geotechnical engineer to verify the proper rate of flyash application, the final moisture content of the mix prior to compaction and the maximum dry density as determined by ASTM-698. No payment will be made for flyash stabilization until all test results have been submitted to the city. Mixing operations shall commence within 1 hour after distribution. Compaction of the mixture shall be completed within 1 hour of the mixing of the flyash. If the material fails to meet the density or moisture requirements, the inspector may require it to be reworked as necessary. When soil temperatures are below 50° and above 40°F additional mixing and compaction efforts may be required to achieve the desired results. Stabilization operations shall cease when soil temperatures are below 40°F. After the flyash treated course has been finished the surface shall be protected against rapid drying by maintaining a thorough & continuous moist condition by sprinkling for a period of not less than 96 hours. After the 96 hour period the subgrade may then be trimmed to line & grade and paved. If the treated subgrade cannot support, without displacement, construction equipment, additional cure time may be required. Payment for treatment of subgrade will be under bid item no. 5 (9" Type C flyash).
- Cement may be used for treatment of subgrade in lieu of fly ash. Cement shall be added to the subgrade at a rate of 5% based on dry unit weight.
- Construction of proposed water distribution system:
 - All pipe for water line construction will be 8" SDR 21 class 200 PVC pipe and 3" schedule 40 PVC (for water service sleeves), unless otherwise noted.
 - Water line construction shall be performed by a qualified contractor and in conjunction with street and sidewalk construction. Contractor shall notify city 48 hours prior to beginning work.
 - Water line grades are not shown on these plans. Trenches will be excavated to a depth sufficient to provide a minimum of 42" of cover, from top of curb to top of pipe in cut & fill sections and 6" below bottom of pipe for embedment. Depth of water line will not exceed 6'. Granular embedment for water line will be sand, with a minimum of 6" around complete periphery of pipe. Embedment will be subsidiary to pipe bid item.
 - Contractor will be responsible for the required chlorination and testing of the new water line.
 - All valves will be placed outside of paved areas and 24" above finished grade.
 - All valves will be installed with 8"x12" anchor couplings. Couplings and boxes will be subsidiary to valve bid item.

CITY OF TONGANOXIE STANDARD NOTES:

- DEVELOPMENT PLANS ARE APPROVED INITIALLY FOR ONE (1) YEAR, AFTER WHICH THEY AUTOMATICALLY BECOME VOID AND MUST BE UPDATED AND RE-APPROVED BY THE CITY ENGINEER BEFORE ANY CONSTRUCTION WILL BE PERMITTED.
- THE CITY OF TONGANOXIE PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH CITY OF TONGANOXIE DESIGN CRITERIA AND THE CITY CODE. CITY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, OR DIMENSIONS AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED ON THE FIELD. CITY OF TONGANOXIE, THROUGH APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY OTHER THAN AS STATED ABOVE FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
- CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY THE CITY OF TONGANOXIE) WITH A STATE APPROVAL STAMP ON THE TITLE SHEET AND ONE (1) COPY OF THE APPROPRIATE STANDARD SPECIFICATIONS CRITERIA FOR WATERLINE CONSTRUCTION AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION OF THE IMPROVEMENTS SHOWN OR IMPLIED BY THIS SET OF DRAWINGS SHALL NOT BE INITIATED OR ANY PART THEREOF UNDERTAKEN UNTIL THE CITY ENGINEER IS NOTIFIED OF SUCH INTENT AND ALL REQUIRED AND PROPERLY EXECUTED BONDS AND CONTRACT AGREEMENTS ARE RECEIVED AND APPROVED BY THE CITY ENGINEER.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE ALL OBSTRUCTIONS, SUCH AS TREES, POSTS, CROSSING, PLANKING, BRICK AND ALL CLASSES OF OLD PAVEMENT AND DEBRIS THAT COMES WITHIN THE LIMITS OF THE AREA UPON WHICH IMPROVEMENTS ARE TO BE CONSTRUCTED. ALL MATERIALS, INCLUDING ROCK EXCAVATED FROM THE WORK OR STRUCTURES REMOVED FROM THE SITE, NOT BELONGING TO OTHER PARTIES AND NOT REQUIRED FOR THE NEW CONSTRUCTION SHALL BE AND REMAIN THE PROPERTY OF THE OWNER, AND OR ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN FENCES, BARRIERS, STREET CLOSED SIGNS, RED LIGHTS, AND WATCHMEN AS MAY BE NECESSARY TO PREVENT AVOIDABLE ACCIDENT TO THE PUBLIC AND TO WORKMEN.
- MATERIAL FOR CONSTRUCTION SHALL BE NEATLY PILED SO AS TO CAUSE LITTLE OBSTRUCTION AS POSSIBLE, AND SO THAT THEY MAY BE CONVENIENTLY INSPECTED. NO MATERIAL OR OTHER OBSTRUCTION SHALL BE PLACED WITHIN FIVE (5) FEET OF FIRE HYDRANTS, WHICH MUST BE AT ALL TIMES READILY ACCESSIBLE TO THE FIRE DEPARTMENT, NOR SHALL ANY MATERIAL BE OILED WITHIN TWO (2) FEET OF ANY TREE.
- THE CONTRACTOR SHALL BE LIABLE FOR ALL DAMAGE TO BUILDINGS, STRUCTURES, SIDEWALKS, TREES, SHRUBBERY OR OTHER PUBLIC OR PRIVATE PROPERTY WHICH MAY BE INJURED OR DESTROYED IN ANY MANNER AS A RESULT OF HIS PROSECUTION OF THE WORK. THE CONTRACTOR SHALL MAKE SETTLEMENT FOR ALL SUCH DAMAGE WITHIN THIRTY (30) DAYS AFTER CLAIMS FOR SUCH DAMAGE HAVE BEEN FILED.
- ALL NEW WORK SHALL BE CAREFULLY PROTECTED BY THE CONTRACTOR, AND ANY WORK INJURED FROM ANY CAUSE BEFORE THE COMPLETION OF THE WHOLE PROJECT MUST BE REBUILT BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH COPIES OF ALL SHOP AND ERECTION DRAWINGS FOR APPROVAL. THESE DRAWINGS SHALL INCLUDE THE DRAWINGS PREPARED ON STRUCTURAL AND REINFORCING STEEL, LAYOUT DRAWINGS OR EQUIPMENT OR MACHINERY PURCHASED UNDER CONTRACT, AND ANY OTHER SUPPLEMENTARY DRAWINGS REQUIRED IN THE PROSECUTION OF THE WORK.
- WHEN REQUESTED BY THE ENGINEER, SAMPLES OR TEST SPECIMENS OF MATERIALS INTENDED FOR USE IN ANY PORTION OF WORK SHALL BE PREPARED AND FURNISHED BY THE CONTRACTOR IN PROPER SIZES AND QUANTITIES AND DESIGNATED BY THE ENGINEER. ALL SAMPLES SHALL BE SUBMITTED SUFFICIENTLY EARLY TO PERMIT RECEIPT OF REPORTS BEFORE THE MATERIAL IS USED. THE COST OF SUCH TESTS SHALL BE PAID BY THE CONTRACTOR OR AT HIS OPTION MAY BE PAID BY THE OWNER AND DEDUCTED FROM ESTIMATES DUE THE CONTRACTOR. COPIES OF REPORTS OF TEST SHALL BE SENT TO THE OWNER, THE ENGINEER AND THE CONTRACTOR.
- IMMEDIATELY AFTER THE COMPLETION OF THE WORK OR ANY PART OF IT, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, REFUSE OR DIRT PLACED AT THE SITE OR IN THE VICINITY OF THE WORK, OR RESULTING FROM ITS PROSECUTION, AND PUT THE SITE IN A CLEAN AND SLIGHTLY BETTER CONDITION. THE CONTRACTOR SHALL RESTORE ALL AREAS OF CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN THEIR ORIGINAL STATE, INCLUDING TRENCH COMPACTION, SEEDING, PAVEMENT PATCHING, ETC.

GENERAL NOTES:

- The Engineer and/or its representatives can not or will not provide a warranty, expressed or implied, for the designs presented in these plans. It is recommended that third party observation be provided by a qualified firm to provide continuous construction observation of the proposed improvements.
- Contractor is responsible for verifying quantities prior to bidding, as well as becoming familiar with and satisfying himself as to the general, local and site conditions that may affect cost, progress, and performance of work.
- Contractor shall promptly give engineer written notice of all conflicts, errors, ambiguities or discrepancies that the contractor discovers in the bidding documents and confirm that the written resolution thereof by the engineer is acceptable to contractor.
- Contractor is responsible for the jobsite safety of the project and the safety of the public and shall adhere to all federal, state and local safety regulations.
- Contractor is responsible for coordinating construction activities with other contractors concurrently working onsite. Contractor shall coordinate all subcontractor activities, and shall be the sole contact for the owner.
- Contractor shall secure all required permits insurance requirements and bonding prior to construction. Insurance certificates shall name Owner and Engineer as additional insured.
- Water for use on site must be purchased from the local water utility having jurisdiction, and shall be purchased per their requirements.
- All traffic control required in conjunction with the proposed construction shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD) and shall be a subsidiary obligation of the contract.

UTILITIES:

- Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement shall be required 10 feet in each direction of the conflict.
- Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
- The Contractor shall be responsible for contacting respective Utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- Trench spoils shall be neatly placed onsite adjacent to the trench, and compacted to prevent saturation and excess sediment runoff. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of onsite. Materials may be wasted onsite at the direction of the Owner or his appointed representative. All excavation is considered unclassified, unless noted otherwise. Unclassified excavation for utility trenching is subsidiary to the unit price provided for the pipe. Any quantity provided for rock excavation is estimated based on the best information provided to the Project Engineer. The Engineer has the authority to identify and define the physical characteristics to determine the classification. Unit price quantities for rock excavation will be paid at a trench width of the nominal pipe diameter of the installed main plus 18 inches. Contractor is required to dispose of excess rock from their trenches by disposing it in areas as specified by the Project Engineer.

RECOMMENDED FOR APPROVAL:

CITY ENGINEER _____ DATE _____

RECOMMENDED FOR APPROVAL:

CITY SUPERINTENDENT _____ DATE _____

RECOMMENDED FOR APPROVAL:

FIRE CHIEF _____ DATE _____

APPROVED FOR CONSTRUCTION:

CITY MANAGER _____ DATE _____

OWNER/DEVELOPER:

TONGANOXIE BOARD OF EDUCATION
LOREN FELDKAMP
300 US-24 HIGHWAY
TONGANOXIE, KS 66086
p 913-416-1400
f N/A
LFELDKAMP@TONGA64.ORG

SUMMARY OF QUANTITIES			
	ITEM	QUANTITY	UNITS
1	8" PVC SDR 21 (CLASS 200)	250	LF
2	8" PVC SDR 21 (CLASS 200) - RESTRAINED JOINT	336	LF
3	8" - 90° BEND	1	EA
4	8" - 45° BEND	1	EA
5	8"x8" TEE	1	EA
6	8" GATE VALVE	3	EA
7	FIRE HYDRANT	1	EA
8	CONNECT TO EXISTING	2	EA

LEAVENWORTH COUNTY BENCHMARK:

LEAVENWORTH COUNTY VERTICAL CONTROL NETWORK LVCC-401.

ELEVATION = 907.7

PROJECT BENCH MARK

TONGANOXIE HIGH SCHOOL BUILDING RENOVATIONS
WATER MAIN RELOCATION PLANS
300 US-24 HIGHWAY TONGANOXIE, KANSAS, 66086

SCHLAGEL
ENGINEERS PLANNERS SURVIVORS LANDSCAPE ARCHITECTS
146225
(813) 482-5158 • Fax: (813) 482-8400
WWW.SCHLAGELASSOCIATES.COM
Kansas State, Certificate of Authority
#E-298 #A-29 #S-54

PREPARED BY:



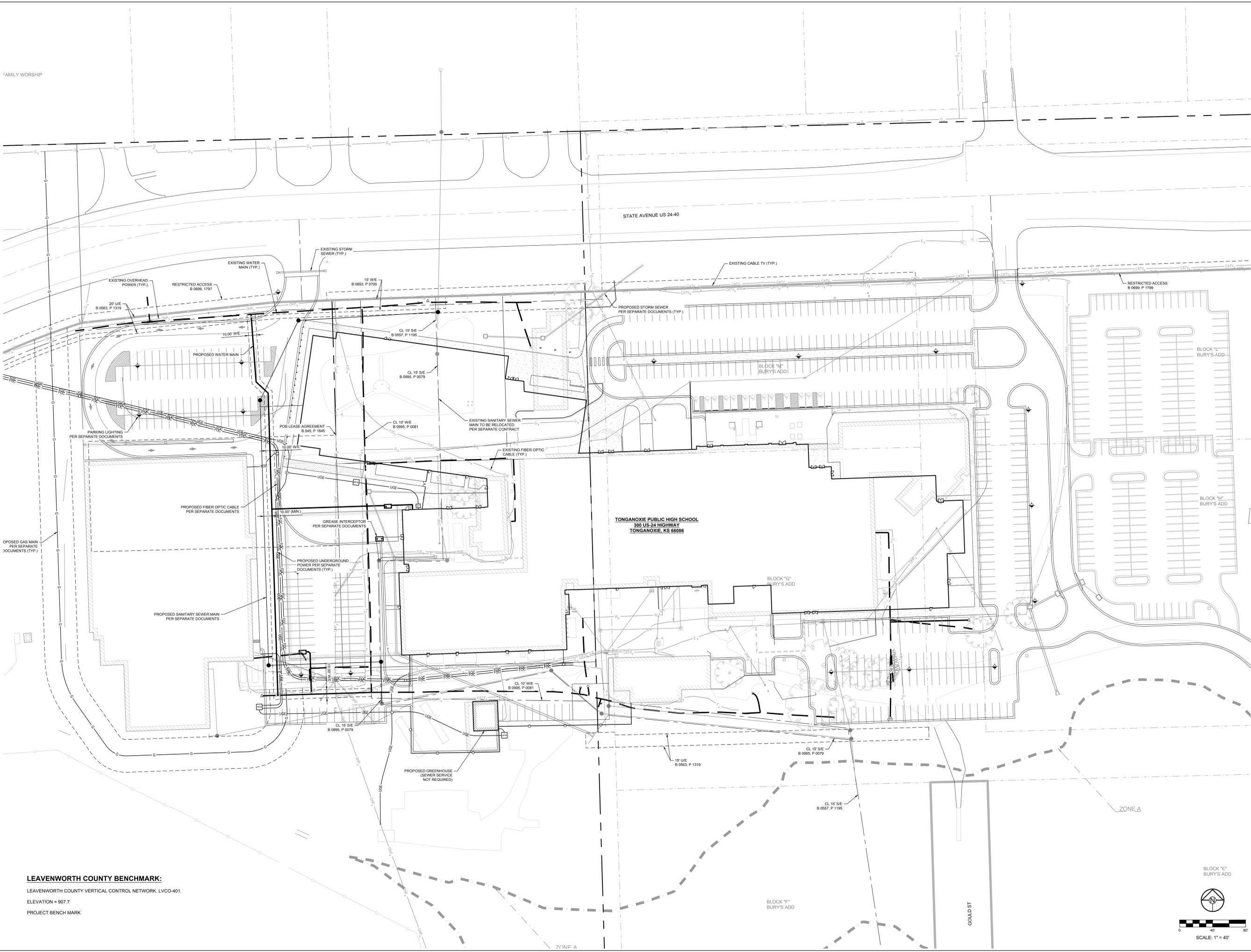
SCHLAGEL & ASSOCIATES, P.A.

REVISION DATE	DESCRIPTION
3/1/2020	CITY REVIEW
3/1/2020	PIW
3/1/2020	CHECKED BY: MAB
3/1/2020	DATE PREPARED: 3/1/2020
19-215	PROJ. NUMBER:

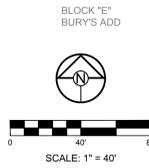
COVER SHEET

C30

FAMILY WORSHIP



LEAVENWORTH COUNTY BENCHMARK:
 LEAVENWORTH COUNTY VERTICAL CONTROL NETWORK, LVCO-401.
 ELEVATION = 907.7
 PROJECT BENCH MARK



SCHLAGEL
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SCHLAGEL & ASSOCIATES, P.A.

**TONGANOXIE HIGH SCHOOL BUILDING RENOVATIONS
 WATER MAIN RELOCATION PLANS**
 300 US-24 HIGHWAY TONGANOXIE, KANSAS, 66086

REVISION DATE	DESCRIPTION
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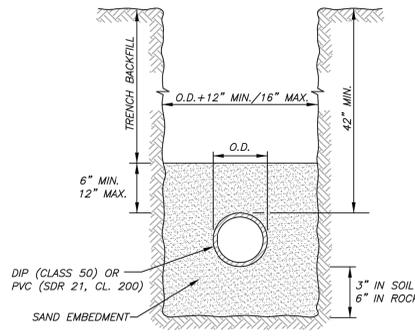
GENERAL LAYOUT

C31

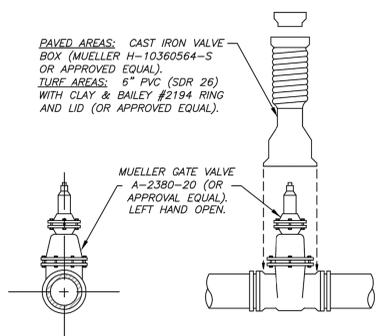
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GENERAL NOTES FOR WATERLINE CONSTRUCTION

- UNLESS SPECIFIED OTHERWISE IN THE PLANS, PROPOSED WATERLINES SHALL BE EITHER DUCTILE IRON PIPE (DIP) CLASS 50 OR POLYVINYL CHLORIDE (PVC) SDR 21, CLASS 200.
- TRENCH BACKFILL SHALL COMPLY WITH THE CITY OF TONGANOXIE WATERLINE CONSTRUCTION SPECIFICATIONS.
 - TRENCH BACKFILL OUTSIDE OF PAVED AREAS (TURF AREAS) SHALL BE SUITABLE SOIL PLACED IN 8" MAX. LIFTS AND COMPACTED TO TYPE B (MR-90) (KDOT STANDARD SPECIFICATIONS).
 - TRENCH BACKFILL UNDER PAVEMENT, SIDEWALK, DRIVEWAYS OR ANY OTHER HARD SURFACED PAVEMENT SHALL BE FLOWABLE FILL. FLOWABLE FILL SHALL BE A LOW STRENGTH (DIGGABLE) MIX AS SPECIFIED IN THE KDOT STANDARD SPECIFICATIONS.
- ALTERNATIVE TO FLOWABLE FILL: FOR TRENCHES 5 FEET OR LESS IN DEPTH, THE CONTRACTOR MAY USE COMPACTED AB-3 FOR TRENCH BACKFILL IN COMPLIANCE WITH THESE SPECIFICATIONS. TRENCH DEPTH SHALL BE MEASURED FROM THE BOTTOM OF THE TRENCH EXCAVATION TO THE EXISTING GROUND ELEVATION MEASURED AT THE ALIGNMENT OF THE WATERLINE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CITY OF TONGANOXIE WITH A REPORT FROM AN INDEPENDENT TESTING LABORATORY SUMMARIZING THE EVALUATION OF THE PROPOSED AB-3 MATERIAL AND RECOMMENDATIONS REGARDING THE MINIMUM CONSTRUCTION REQUIREMENTS OF THE PROPOSED AB-3 MATERIAL. THE REPORT AND EVALUATION OF THE AB-3 MATERIAL SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF KANSAS.
 - MINIMUM CONSTRUCTION REQUIREMENTS FOR COMPACTED AB-3 TRENCH BACKFILL SHALL BE AS SPECIFIED IN THE GEOTECHNICAL ENGINEERING REPORT, BUT IN NO INSTANCE SHALL THE MINIMUM REQUIREMENTS BE LESS STRINGENT THAN AS SPECIFIED BELOW.
 - THE MAXIMUM COMPACTED THICKNESS OF ANY LAYER/LIFT OF AB-3 SHALL BE 6 INCHES THICK. THE CITY MAY ALLOW ANY LAYER/LIFT TO BE INCREASED TO 8 INCHES THICK WHEN VIBRATING COMPACTION EQUIPMENT IS UTILIZED AND ACHIEVES THE MINIMUM COMPACTION REQUIREMENTS BELOW.
 - COMPACT EACH LAYER/LIFT TO A MINIMUM UNIFORM DENSITY OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR.
 - THE AB-3 MATERIAL SHALL BE PUGGED WITH A SUFFICIENT QUANTITY OF POTABLE WATER TO ALLOW COMPACTION OF THE MIXTURE TO THE SPECIFIED DENSITY.
 - CERTIFIED DENSITY TESTING OF THE COMPACTED AB-3 TRENCH BACKFILL SHALL BE PERFORMED ON EACH LAYER/LIFT BY AN INDEPENDENT TESTING COMPANY. ALL COSTS FOR SUCH TESTING ARE TO BE BORNE BY THE CONTRACTOR, WITH THE SELECTED INDEPENDENT TESTING COMPANY APPROVED BY AND REPORTING DIRECTLY TO THE CITY OF TONGANOXIE.
 - THE ABOVE SPECIFICATIONS SHALL APPLY TO THE TOP 5 FEET OF TRENCH BACKFILL FOR TRENCH DEPTHS EXCEEDING 5 FEET DEEP. PROVIDED FLOWABLE FILL IS UTILIZED AS TRENCH BACKFILL BELOW THE 5 FOOT DEPTH AND HAS ACHIEVED SUFFICIENT STRENGTH PRIOR TO PLACING COMPACTED AB-3 TRENCH BACKFILL.

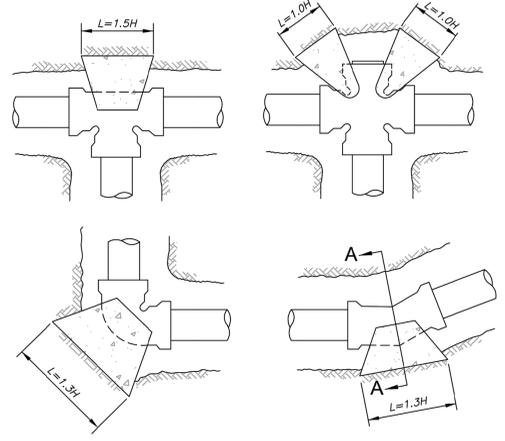


TYPICAL TRENCH SECTION



VALVE AND VALVE BOX DETAIL

GRIP RINGS OR SIMILAR JOINT RESTRAINT MAY BE CONSIDERED AN ACCEPTABLE ALTERNATIVE TO THRUST BLOCKING PROVIDED THE JOINT RESTRAINT IS INSTALLED IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING THE RESTRAINT OF A SUFFICIENT NUMBER OF PIPE JOINTS IN ALL DIRECTIONS FROM THE FITTING TO OBTAIN THE APPROPRIATE RESTRAINED DEVELOPMENT LENGTH.



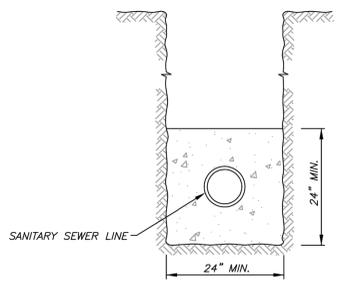
THRUST BLOCK DETAILS

LINE SIZE	BEARING AREA IN SQUARE FEET					CROSS
	* TEE & VALVE	90° ELLS	45° ELLS	22 1/2° ELLS	11 1/4° ELLS	
4"	2.7	3.8	2.1	1.1	0.5	2.0
6"	5.6	7.9	4.3	2.2	1.1	3.5
8"	9.6	13.6	7.4	3.8	1.9	6.0

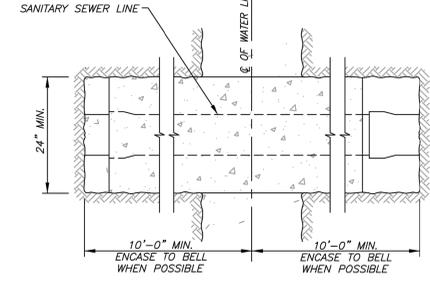
* AS INSTRUCTED BY ENGINEER

*AS REQUIRED TO OBTAIN THE MINIMUM BEARING ARE SHOWN IN THE TABLE. IN NO CASE SHALL THE BE LESS THAN THE O.D. OF THE PIPE.
BEARING AREA = L X T

BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH. PLUGS SHALL BE INDIVIDUALLY RESTRAINED. ALL CONCRETE USED FOR THRUST BLOCKS AND ENCASEMENT IS TO BE 4,000 p.s.i. (28-DAY) CONCRETE.

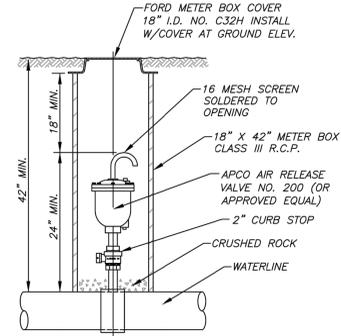


ELEVATION VIEW

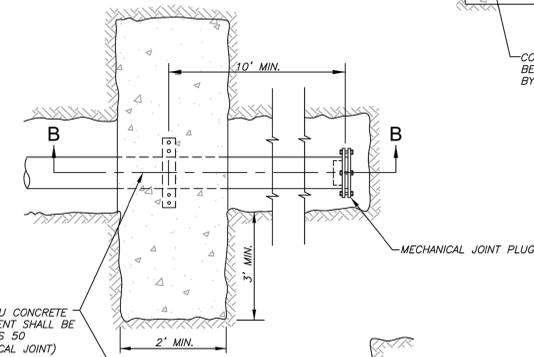


PLAN VIEW

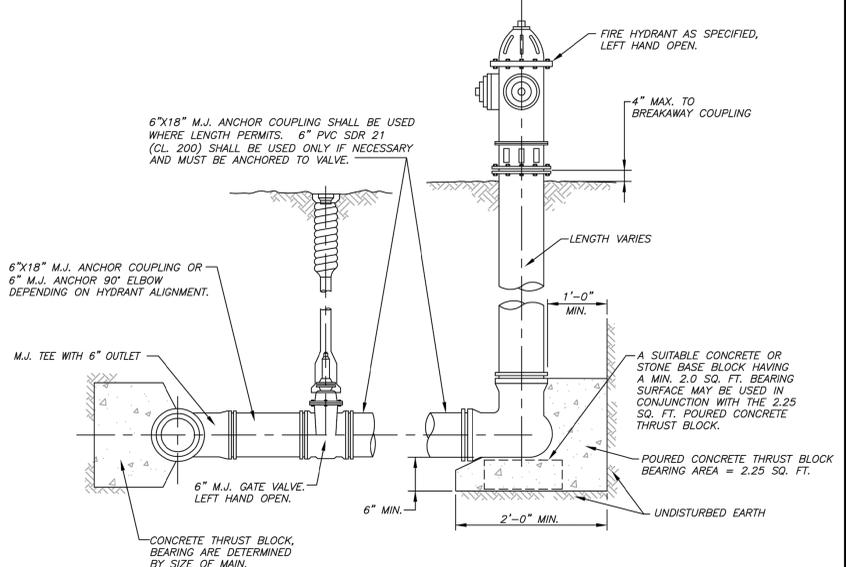
CONCRETE ENCASEMENT OF SANITARY SEWER LINE CROSSING WATERLINE DETAIL



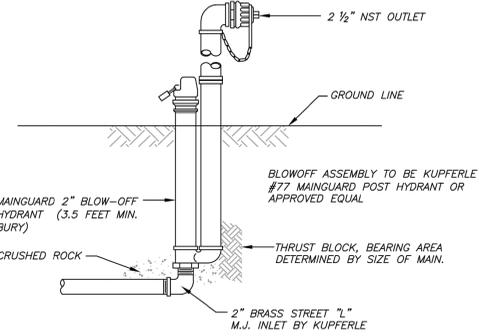
AIR RELEASE DETAIL



SECTION B-B STRADDLE OR END BLOCKING



FIRE HYDRANT DETAIL

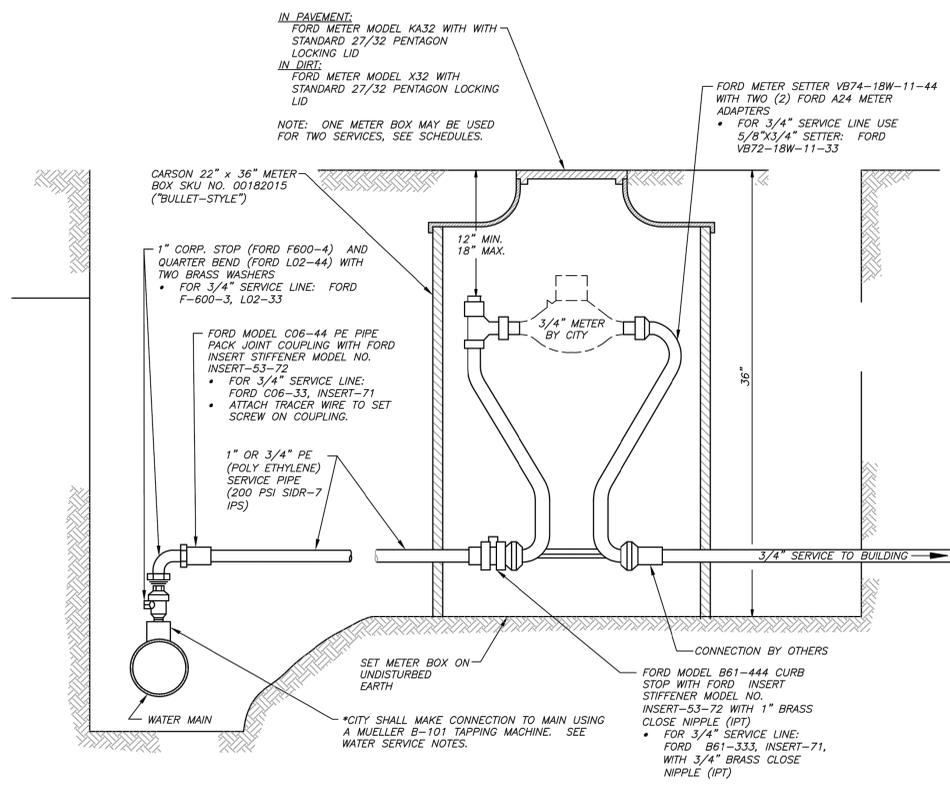


POST HYDRANT DETAIL

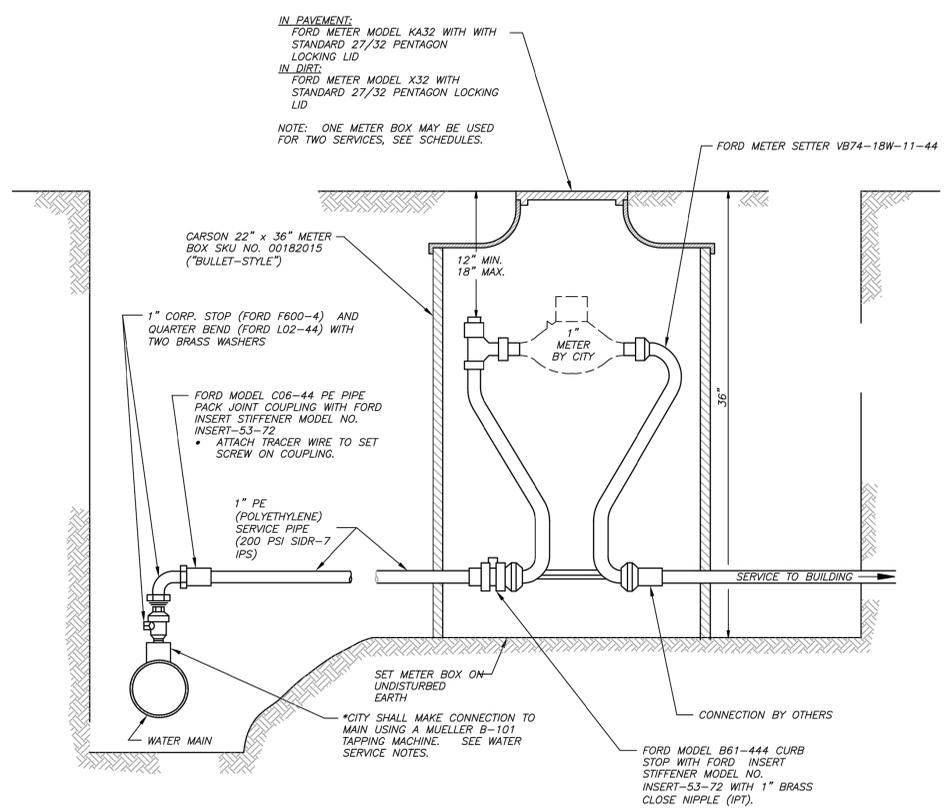
1	Added General Notes. Allowing alternate to flowable fill trench backfill.	01/31/2017
Rev.	Description	Date
REVISIONS		
Public Works Department City Standard Details 2017 Edition WATERLINE DETAILS #1 City Engineer: Brian Kingsley, P.E. (BG Consultants, Inc.) Sheet No. ___ of ___		

REVISION DATE	DESCRIPTION	DATE
3/1/2020 <td>CITY REVIEW <td></td> </td>	CITY REVIEW <td></td>	
3/1/2020 <td>PIW <td></td> </td>	PIW <td></td>	
3/1/2020 <td>CHECKED BY: MAB <td></td> </td>	CHECKED BY: MAB <td></td>	
3/1/2020 <td>DATE PREPARED: <td></td> </td>	DATE PREPARED: <td></td>	
3/1/2020 <td>PROJ. NUMBER: <td></td> </td>	PROJ. NUMBER: <td></td>	
19-215 <td></td> <td></td>		

STANDARD WATERLINE DETAILS



TYPICAL 3/4" WATER SERVICE



TYPICAL 1" WATER SERVICE

Rev.	Description	Date
REVISIONS		
 Public Works Department City Standard Details 2017 Edition WATERLINE DETAILS #2 City Engineer: Brian Kingsley, P.E. (BG Consultants, Inc.) Sheet No. ___ of ___		

REVISION DATE	DESCRIPTION
3/1/2020	CITY REVIEW
3/1/2020	PIW
3/1/2020	CHECKED BY: MAB
3/1/2020	DATE PREPARED:
12/21/19	PROJ. NUMBER:

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City of Tonganoxie, Kansas

PLANNING STAFF REPORT

Case#: 2020-002P –Revise Site Plan and Preliminary Plat – West Village

Date of Report: May 1, 2020

Applicant Name: Cvetkovic, Tomica & Ljubinka

Property Owner Name: Cvetkovic, Tomica & Ljubinka

Subject Property Address: 00000 West Street, Tonganoxie, KS (5.2 acres west of West Street and South of 8th Street

Application:

Zoning District: R-R, Rural District

Type of Approval Desired: Rezoning from R-R to R-MF2; Preliminary Plat; Site Plan

Date of Application: undated application; received by planning consultant 12/6/19

Date of Meeting: January 2, 2020

Surrounding Property – Zoning and Use:

West: R-R - Tonganoxie Historical Society and Museum; Rural Areas

South: R-R – Church

East: R-SF–Single-family homes

North: R-PUD– Senior Apartments / Assisted Living

Staff Recommendation:

Recommend approval subject to specific conditions regarding the site plan and engineering review.

I. SUMMARY

The Planning Commission considered a rezoning request and site plan related to this project on January 2, 2020. The Commission recommended to the City Council the rezoning from R-R Rural district to R-MF2 – Multiple Family 2 District, but did not take action on the site plan. The City Council approved the rezoning on January 21, 2020 (Ord. 1481). This application provides a revised site plan and preliminary plat for the project. The site is and approximately 5.2-acres an undeveloped rural parcel abutting West Street and south of West 8th Street. This application proposes to build 57 units in 6 buildings – 5 buildings ranging from 3 to 5 units each on the north and east portion of the site, and 1 building with 36 units on the southwest portion of the site.

In association with the rezoning and initial site plan consideration, the Planning Commission discussed the following items:

1. Try to maintain the potential for Cox Street to continue to the south if it ever became necessary in the long-term. It was not considered necessary in the immediate or interim due to the context and surrounding property, and it was not considered necessary for this particular project.
2. Provide details and improve the design character of internal circulation streets, and ensure that even though they will remain private they are constructed to public street standards. (This was related to 1. Above, or any other event that could warrant the streets ever becoming public.)
3. Demonstrate on-site circulation for pedestrians.
4. Investigate some type of amenity on the site for residents (play area, dog run, creek as a natural amenity / trail); further if this could be done in a way that provides (or preserves) potential pedestrian connections to the US 24/40 frontage and to the south it would maintain the option of a trail corridor that was identified in the Comprehensive Plan aligning with the creek.
5. Better alternatives to meet traffic and fire safety than a large roundabout, that presents a large area of impervious surface that has a negative effect on the aesthetics and stormwater.
6. Need to show ADA parking in association with better dimensions and details of all internal circulation.
7. Some discussion of the setback of buildings from the internal streets, relative to required setbacks in the zoning ordinance.

Items 3 and 6 have been addressed in the revised submittals. The remaining items are addressed in the staff review and recommendations.

II. ANALYSIS –SITE PLAN

The Planning Commission reviews and makes a final decision on all site plans. Site Plan review is required for all new multi-family construction [Article 9, Section 1.2.1.1, Tonganoxie Subdivision Regulations.] Site plans must meet all applicable development standards for the zoning district, and a series of planning and design standards in the Site Plan Review Standards section of the Subdivision Regulations.

RMF-2 Standards:

The development standards of the R-MF2 zoning district are included below, and presented against what is proposed for this project. The building design and elevation elements are taken from the architectural drawings submitted with the rezoning request considered in January, as these are the latest on file.

	RMF-2 Standards	Proposed Project
Lot Area	10,000 s.f. or at least 1,500/unit whichever is larger	Approximately 226,500 s.f. (3,974 s.f. per unit)
Height	3 stories / 45'	A mix of 2- and 3-story buildings (elevations do not include a dimension for overall height on the 3-story apartment building)
Front Setback	30'	The buildings are over 30' from all property lines (96.8 from US-24/40; 32' from the south boundary; 30.5' from the west boundary; and 30' from the north boundary). Some buildings are closer to internal "streets" proposed in the project, although they are not dimensioned
Side Setback	10'	
Rear Setback	30'	
Parking	1.5 spaces per unit (86 spaces required)	9 spaces
Landscape	Buffer planting (along R-SF and R-2F) <ul style="list-style-type: none"> • 1 evergreen OR 1 shade tree • 3 large shrubs Plus; planting per each 4 units: <ul style="list-style-type: none"> • 1 tree; • 1 shrub The buffer planting is not applicable to this site, but the per-unit requirement would be 15 shrubs and 15 trees	<ul style="list-style-type: none"> • 15 autumn place maples • 15 sea green junipers

Site Plan Criteria:

- **Articulation of Wall and Roof Planes (3.1).** Buildings of more than 2,000 square feet are to be broken into components that have a 3-to-1 ratio (wall not extending horizontally more than 3 times the height).

Elevations have only been provided for the large apartment building. These elevations meet this criterial through off-sets in massing, changes in the wall and roof planes at points of emphasis creating bays for balconies and doorways, and material changes associate with each. The side elevations (3 and 4) are present the largest wall expanses without articulation, and these use windows (though skewed to the extreme of each side) and material changes at the first story and roof to break up the wall planes.

Elevations are not provided with the smaller attached unit buildings; however, the site plan shows building footprints that suggest the buildings will meet this criteria with varied massing of the wall planes between units. These buildings are also not dimensioned as to how far they sit from the internal streets, and a required zoning setback does not apply in this situation. Due to the configurations of the building footprints, the orientation of the entry features, and the pedestrian connection to the internal sidewalks, the proposed building placement is appropriate.

- **Cladding and Roofing Materials (3.2)** Walls visible form the street should be clad in masonry (stone, brick, decorative concrete block, stucco or gypsum concrete), glass (curtain walls or glass block), or wood (board & bat, clapboard, paneling – and painted). Roofing materials should be standing seam metal or copper; clay, slate or cast concrete tiles, cedar shingles, Heritage II composition shingles or better.

The elevations for the large apartment building indicate the following materials:

- Wood Lap Siting (3 colors)
- Stone Veneer Base / First Story (Limestone – Texas Cream)
- Stucco (2 colors)
- Architectural Laminated Asphalt Roof Shingles (Weathered Wood)

The proposed materials meet these criteria, but samples or representative examples should be presented to the Planning Commission with a final or proposed range for unspecified colors. Additionally, materials and elevations were not provided for the attached unit buildings. These plans shall be supplied and determined compatible to the style, design and quality of the principle building.

- **Visual Elements (3.3)** *Doors, windows and other elements should allow visual penetration to the interior. There is no specific standard listed for residential projects.*

The proposed elevation for the large apartment building meets this criteria with frequent windows, doors and balconies. The side elevations (elevations 3 and 4), only marginally meet this requirement. Due to the arrangement of buildings, these elevations will be prominent, but the plan does include some minimal landscape to break up the visibility. (See Landscape comments below).

- **Colors, Patterns and Textures (3.4).** *Colors should be compatible with the existing surroundings. Extremely bright or fluorescent colors should be avoided.*

See materials above. The proposed materials meet these criteria, but samples should be presented to the Planning Commission with a final or proposed range for unspecified colors.

- **Auxiliary Elements (3.5).** *Mechanical equipment, utility areas, trash and recycling areas, etc. should be screened with landscape or architectural features.*

Trash enclosures are located at each cul-de-sac turn-around. A screening fence is shown but the materials are not specified. Utility areas, mechanical equipment not shown on the site plan. However, due to the large site and configuration of internal access streets it is assumed that all of these facilities will be able to be located in the most discrete manner as possible on building sites and/or screened with enhanced architectural screens meeting the materials used on the principal buildings or with an enhanced landscape screen. (See Landscape comments.)

- **Landscape (4.2)** *Multi-family projects should use landscape design to:*
 - *Enhance the community appearance and preserve neighborhood character. (accent architectural features, delineate pathways or edges, separate / screen site elements, contribute to the overall aesthetic appeal of the site, contribute to the environmental character of the neighborhood / area.)*
 - *Landscape shall safeguard the natural environment against the effects of improvements (erosion control and stormwater drainage, provide shade, minimize impacts)*
 - *Buffering and screening shall minimize impacts on the neighborhood*

The landscape plan meets the requirements of the zoning ordinance in quantity and species. This site presents a difficult and less than ideal arrangement of streets and access ways. This is due to some access constraints from US 24/40, the presence of the creek through the middle of the site, and does represent a departure from the connectivity originally anticipated from Cox Street north of this site (built with the assisted living facility). Internal sidewalks have been added along streets, connecting to Cox Street sidewalks, and providing a loop route between the apartment building and the creek. The connections in front of the attached units will create

good, human-scale connections to the entry features on this unit and contribute to the internal “streetscape.” However, most of the other sidewalks are attached (connected to the back of curb of the street or parking area) providing little opportunity for a quality streetscape and landscape design on these walking routes. Due to this it is difficult to evaluate the design of the landscape plan relative to these criteria – delineating pathways, gateways, environmental and site appearances. Instead, this plan appears simply to space the plantings to meet the minimum requirement. Staff recommends that a revised landscape plan be submitted in association with these goals and upon further refinement of the site plan, and to be approved by staff meeting the following goals specific to this site and plan:

- Create a defined edge to the property along 24/40 with large shade trees.
- Create a gateway into the property at the termination of Cox Street.
- Locate internal pedestrian circulation between parking and units, between buildings, and along the internal streets, and use a combination of large shade trees, ornamental trees and shrubs to shape these areas.
- Soften/screen parking areas (to the extent not accomplished already by the above goal – particularly the south edge of the surface lot along the south boundary of the property.
- Screen any trash enclosure or mechanical equipment not already screened by architectural treatments.

III. ANALYSIS—PRELIMINARY PLAT

The purpose of a preliminary plat is to show general and conceptual compliance with the City’s subdivision design standards prior to completing final engineering and more technical drawings to divide lots and construct improvements. This preliminary plat proposes dividing the multi-family project into two lots – one for the apartment building and one for the several attached unit buildings. All streets and sidewalks within this property are to be private, and access to each lots is from easements connecting to Cox Street (where it ends as a publicly dedicated street at the north west edge of this property.)

Plat applications must be reviewed against the following considerations (in bold italic text) as outlined by the City of Tonganoxie Subdivision Regulations, Section 4.1 and 4.2 Planning Commission shall approve the plat if it meets the City’s criteria for the following required improvements:

- a. Street Systems - provision for the continuation of existing streets, connections to adjoin areas, and adequate internal streets; internal circulation; and proposed streets extended to the boundaries.***

Cox Street has been planned to connect further to the south, providing part of an alternative route to Highway 24 between 8th Street and West Washington. As discussed with the rezoning application, there are large institutional property owners abutting this property (Tonganoxie Historical Society to the west and West Haven Baptist Church to the south). Neither of these properties anticipate further or future development, and do not see immediate benefits from this connection. There is no right-of-way currently required. The rezoning application discussed in concept possible configurations of the Cox Street extension in this plan, that would not preclude a future connection and dedication to the public should the opportunity arise in the future. However, no changes to this street configuration were made and it remains aligned as a cul-de-sac internal to this property. This would not necessarily preclude a future stub into this internal street if a connection were made to the south. However that would require additional right-of-way acquisition on the property to the south and this property, and would require at least some reconstruction and reconfiguration of the internal street. While approval of this plat does not necessarily prevent any future connections, it is not planned based on it and would

represent a direction of the City to not connect Cox Street between 8th Street and West Washington.

Internal circulation for this site is adequate based on the street configurations. Although the two cul-de-sacs is not an efficient layout of streets, the site is constrained by a creek through the middle of it, and access to the east on U.S. 24/40 (by drives or public streets) would not be granted. A different configuration of the turn-around areas was discussed at the rezoning hearing, but they remain as a large cul-de-sac. These configurations do meet fire access standards, but it is not evident that alternative options that meet this yet do not provide such large paved areas were also explored.

b. *Lots – the lot arrangement provides building sites meeting the standards of the city regulations and proposed zoning.*

All proposed lots have the potential to provide building sites conforming to City zoning requirements. Due to the configuration of the lots, streets, surrounding constraints and internal access drives, it is difficult to determine front, side and rear lot lines. However the project is internalized with a relatively low density and open land-building configuration, and all buildings and lot layouts meet the standards under any interpretation.

c. *Character of Development – Minimum requirements on the character of development (both within the proposed project and in relation to surrounding property) may be included in the required project.*

The proposed project generally meets the character of property on surrounding sites. All properties are currently developed and used as larger institutional or multi-family sites, with buildings placed internal to larger lots with no established block-lot-building pattern.

d. *Utilities and Easements*

The proposed utilities and easements appear acceptable at a planning and conceptual level. More specific and technical comments is provided in the City Engineer’s report and analysis, and more specific details will need to be reviewed at the final plat stage regarding easements, rights-of-way and other technical utility information.

The City Engineer report does not that with the lack of public streets and rights-of-way through this area, connections of utilities for service to the south and west could be constrained if they would have to go around these larger parcels of private property, and more public easements through this area should be looked at prior to final plat – particularly sanitary sewer and water easements to the south and east property lines.

Additionally a stormwater study shall be provided prior to approval of the final plat.

e. *Open Spaces and Community Assets – parks, school sites and other civic assets, other than streets.*

The proposed project does not include any public parks or school sites. The creek running through the site was identified as a potential trail connection, but there are no immediate plans for a trail in this area – either northeast of the site or southwest.

f. *Suitability of the Land*

The land is existing rural undeveloped land and has development constraints due to the creek and the limited access to the frontages on U.S. 24/40. This, and the presence of other larger-lot institutional and multi-family properties on surrounding properties make the land suitable for this pattern of development.

IV. EFFECT OF DECISION

A. Site Plan

The Planning Commission is the final approval for the site plan. Upon approval and satisfying any conditions of approval, the applicant will be authorized to proceed to building permits and formal review of development and construction plans, according to city standards and specifications.

B. Preliminary Plat

The approval of the preliminary plat does not constitute final approval or acceptance of the subdivision by the City Planning Commission or authorization to proceed on construction of the improvements within the subdivision, but shall constitute approval of the general layout. Approval of a preliminary plat is valid for one year, within which time a final plat shall be submitted. Denial of a preliminary plat may be appealed to the City Council

V. RECOMMENDATION

A. Site Plan

Planning Staff recommends approval of the site plan subject the following:

1. The applicant present materials samples or representative examples and a proposed color pallet (or otherwise identify unspecified colors) to the Planning Commission for approval at the meeting.
2. Elevations for the attached buildings be provided at the meeting, or there is otherwise assurances that design concepts, style, massing and materials will be compatible with the large apartment building.
3. Materials for the trash enclosure be provided and demonstrate they are compatible with the buildings and landscape plans.
4. A revised landscape plan be submitted and approved by staff prior to building permits and meeting the goals stated in this report.
5. A final plat shall be approved and recorded prior to any building permits.

B. Preliminary Plat

Planning Staff recommends approval of the preliminary plat subject to the following:

1. The Planning Commission acknowledge that the connection of Cox Street will be terminated with this plat, and is acceptable due to the circumstances of this lot and lots to the south and west. Further, in the event of future connection being made, right-of-way will need to be acquired on this property and property to the south, and some reconstruction of the private Cox Street extension in this project will be necessary to provide a connection.
2. In relation to point 1., all streets internal to this plat are private easements and shall be the maintenance responsibility of the property owner. However, they shall be constructed to City street standards in the event that public dedication and maintenance is ever requested at a future date, whether in association with a future connection or otherwise.

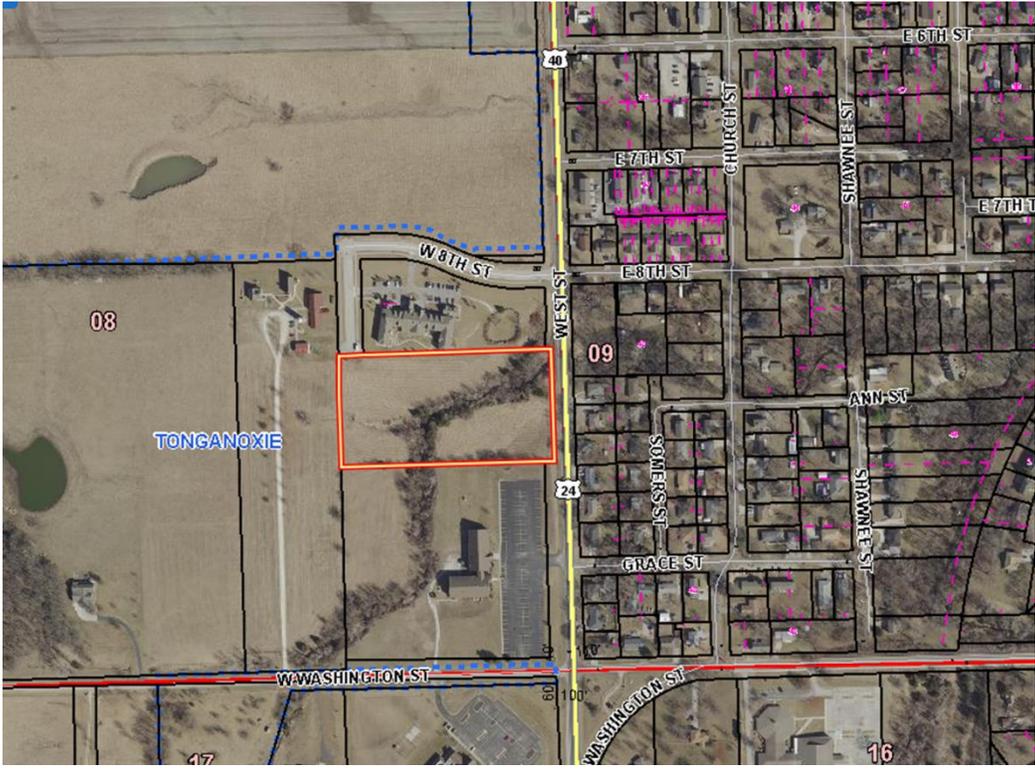
3. Easements and rights-of-way be confirmed and finalized prior to final plat, based on the City Engineer comments, particularly regarding future utility easements for water and sewer to the south and east property lines.
4. A storm water management study be submitted for the preliminary plat.



Chris Brewster
Contract City Planner



Current City Zoning (property in red box now zoned R-R)



Property



Future Land Use (Tonganoxie Comprehensive Plan 2006)



MEMO

To: George Brajkovic, City Manager
City of Tonganoxie

Cc: Dan Porter, Asst. City Manager
Kent Heskett, City Superintendent
John Zimbleman, Fire Chief
Chris Brewster, City Planner

From: Brian Kingsley, City Engineer

Date: May 1, 2020

Re: West Village Development
Site Plan and Preliminary Plat Review
20-1001L

The following are the City Engineer and staff review comments related to Engineering issues:

Storm Water Management Plan:

- 1) The applicant must submit a storm water study for the development.

Recommendation: The City should consider approval with condition that a storm water management study for the site be submitted and approved. Storm water detention will likely be required.

Site Plan and Preliminary Plat:

- 1) A storm water management study should be submitted for the preliminary plat.
- 2) The US 24-40 corridor management plan identifies a reverse frontage road extending Cox Street South through this development. KDOT will not oppose the plan without the reverse frontage road and has deferred the final approval to the City of Tonganoxie. The City should acknowledge that the reverse frontage road plan will be terminated with this plat.
- 3) Utility easements should be provided to allow for future extension of the Sanitary Sewer and Waterline to the South and East property lines.

Recommendation: The City should consider approval contingent upon the above issues being addressed.

--END

For questions or comments, please contact:

Brian Kingsley, PE

President

T: 785.727.7261

E: brian.kingsley@bgcons.com

CITY OF TONGANOXIE, KANSAS

APPLICATION FOR PRELIMINARY PLAT AND FINAL PLAN APPROVAL

Requested Action	Fee Paid	Date Rec'd	Date Published	Hearing Date
<input checked="" type="checkbox"/> Preliminary Plat	_____	_____	_____	_____
_____ Street & Storm Sewer Plan	_____	_____	_____	_____
_____ Sanitary Sewer Plan	_____	_____	_____	_____
_____ Waterline Plan	_____	_____	_____	_____
_____ Final Plat	_____	_____	_____	_____
<input checked="" type="checkbox"/> Site Plan	_____	_____	_____	_____
_____ Landscaping Plan	_____	_____	_____	_____

Name of Development West Village
 General Location 00000 West 61st Tonganoxie KS 66086

Applicant:

Name: Marko Cvetkovic Contact: _____
 Address: 10537 Clubhouse Dr.
 Phone/Fax: 913-575-7708
 E-mail address markovic1984@gmail.com

Owner Developer:

Name: WC Development Contact: Randy Willbanks
 Address: _____
 Phone/Fax: 816-863-9440
 E-mail Address rwillbanks@patriotproducts.net

Engineer:

Name: Allenbrand-Drew Contact: Matt Cox
 Address: _____
 Phone/Fax: OFFICE 913-764-1076 Cell 913-522-6517
 E-Mail Address mcox@allenbrand-drews.com

SUBDIVISION INFORMATION:

- Gross acreage of plat: 5.11
- Total number of lots: 22
- Residential Business _____ Industrial _____ Other _____
- Existing zoning Ag Proposed zoning MF2

THE owner herein agrees to comply with the subdivision regulations for Tonganoxie, as amended, and all other pertinent ordinances or resolutions of Tonganoxie, and statutes of the State of Kansas. The undersigned further states that he is the owner of the proposed for platting.

OWNER'S SIGNATURE  02/02/2020

OFFICE USE:

RECEIVED BY _____

Date _____ Fee Submitted _____

From: [Marko Cvetkovic](#)
To: [George Brajkovic](#); [Dan Porter](#); [Melanie Bilby](#)
Cc: brian.kingsley@bgcons.com
Subject: West Village Tonganoxie Kansas Request
Date: Wednesday, April 22, 2020 9:25:18 AM

Hello,

We are requesting that the stormwater study and the sanitary sewer plan be a condition of approval of the preliminary plat and site plan.

Thank you,
Marko Cvetkovic
913-575-7708

SITE PLAN

WEST VILLAGE

CITY OF TONGANOXIE LEAVENWORTH COUNTY, KANSAS

Legal Description
(As provided by property owner)

A tract of land in the Southeast 1/4 of Section 8, Township 11 South, Range 21 East of the 6th P.M., in Leavenworth County, Kansas, described as follows: Commencing at the Southeast corner of the Southeast Quarter of Section 8, Township 11 South, Range 21 East; thence South 89°11'59" West, (assumed), 50.00 feet; thence North 00°50'55" West, 660.00 feet to the point of beginning of this tract; thence South 89°11'59" West 660.00 feet; thence North 00°20'20" West 337.24 feet; thence North 89°11'59" East 657.00 feet; thence South 00°50'55" East 337.23 feet to the point of beginning of this tract, LESS any part thereof taken or used for road purposes.

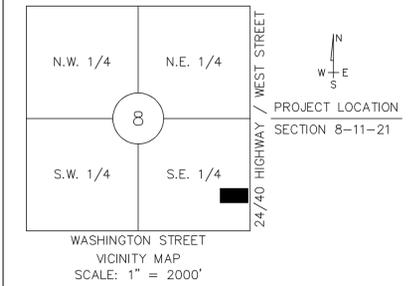
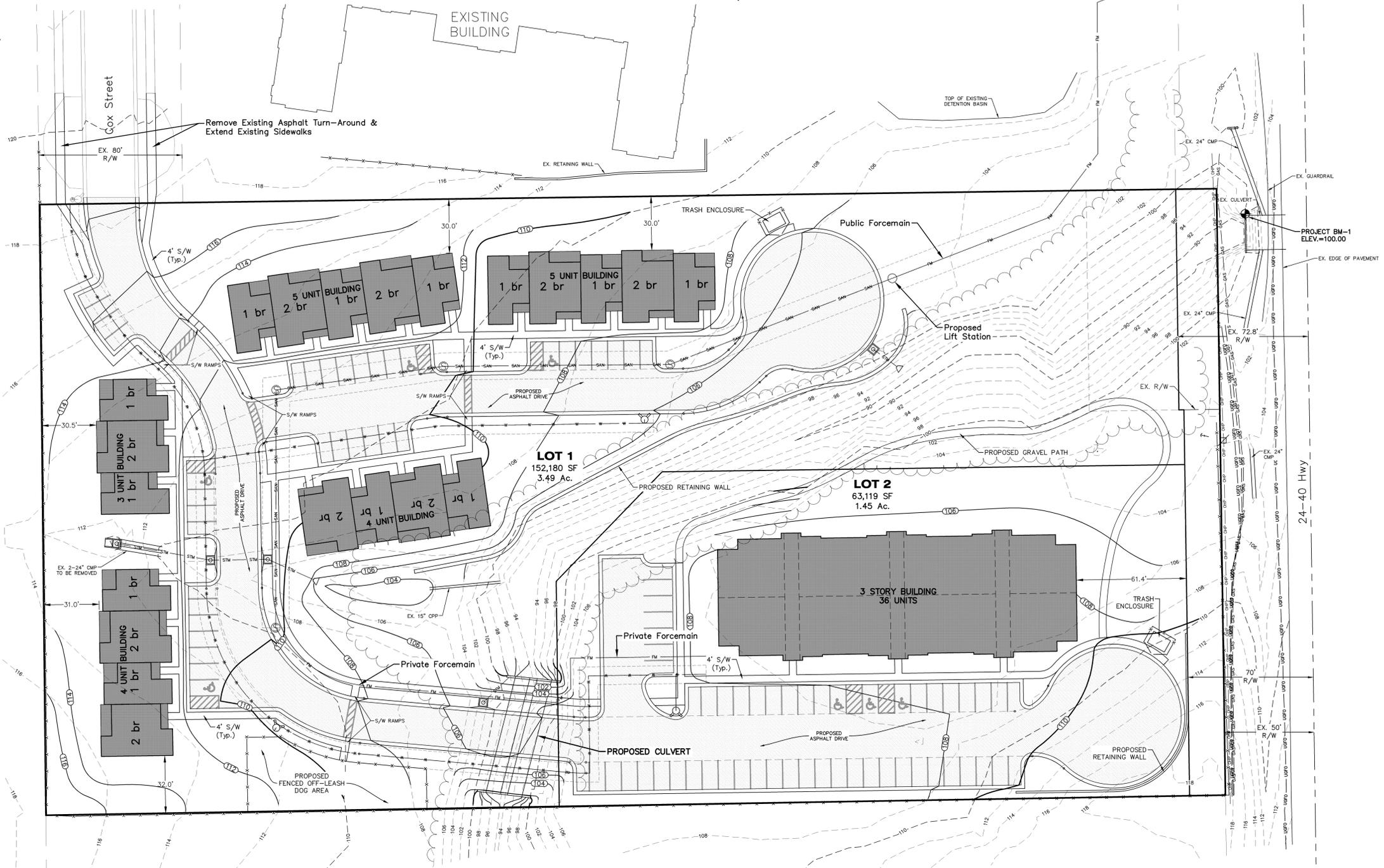
DEVELOPER:
PINNACLE CONSTRUCTION CO., INC.
CONTACT: RANDY WILLBANKS
1227 E 119TH STREET
GRANDVIEW, MO 64030
PHONE: (816) 863-9440

SITE INFORMATION

Project area: 5.11 acres
Zoned: "R-MF3" Multiple Family III

Building info
Senior living, one bedroom: 12 units
Senior living, two bedroom: 9 units
Apartment, one bedroom: 24 units
Apartment, two bedroom: 12 units

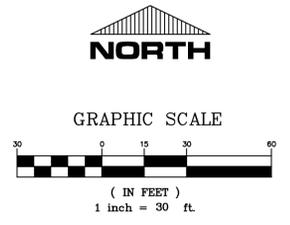
Parking info
Senior living area
Required: 32 spaces (1.5 per unit)
2 ADA spaces
Provided: 36 spaces
4 ADA spaces
Apartment area
Required: 54 spaces (1.5 per unit)
3 ADA spaces
Provided: 54 spaces
3 ADA spaces



- NOTES:
- No direct access will be allowed onto US 24/40 Highway.
 - Subject property lies outside of the 100-year floodplain per FEMA FIRM Map Numbers 20103C0301G and 20103C0302G, revised July 16, 2015.
 - Gravity sanitary sewers are depicted with 15' wide easements, centered on the proposed main. Water lines and force main sewer lines are depicted with 10' wide easements, centered on the proposed main.

PROJECT BENCHMARK, BM-1:
CUT IN TOP NW CORNER HEADWALL OF BOX CULVERT ON WEST SIDE OF WEST STREET AKA 24th HIGHWAY AND 275' SOUTH OF 8TH STREET, PER PLANS FOR VINTAGE PARK.
ELEV.=100.00

LEGEND	
▲	MONUMENT FOUND AS DESCRIBED
●	BAR FOUND AS DESCRIBED
⊙	FIRE HYDRANT
⊠	STORM SEWER CURB INLET
⊡	STORM SEWER YARD INLET
⊞	STORM SEWER END SECTION
⊕	SANITARY SEWER MANHOLE
⊗	POWER POLE
→	GUY ANCHOR
— EX-W — EX-W —	EXISTING WATER LINE
— W — W —	PROPOSED WATER LINE
— STM — STM —	PROPOSED STORM SEWER LINE
— EX-SAN —	EXISTING SANITARY SEWER LINE
— SAN — SAN —	PROPOSED GRAVITY SANITARY SEWER LINE
— FM — FM —	PROPOSED SANITARY FORCE MAIN
— GAS — GAS —	EXISTING GAS LINE
— OHP — OHP —	EXISTING OVERHEAD POWER
— UGT — UGT —	EXISTING UNDERGROUND TELEPHONE
— UGFO — UGFO —	EXISTING UNDERGROUND FIBER OPTIC
— 1000 —	EXISTING GRADE CONTOUR
— 1000 —	PRELIMINARY FINISH GRADE CONTOUR
⌋	EXISTING TREE LINE



Revisions		No.	Date	By
4	DESIGNED BY MRC	3		
3	DRAWN BY MRC	2	4/29/20	MRC
2	CHECKED BY MRC	1	1/13/20	MRC
1	DATE		12/12/19	
	JOB NO.		34859	

CIVIL ENGINEERS LAND SURVEYORS - LAND PLANNERS 14 W. PEORIA PAOLA, KANSAS 66071 PHONE: (913) 557-1076 FAX: (913) 557-6904	
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WEST VILLAGE Site Plan	Sheet No. 1 of 2
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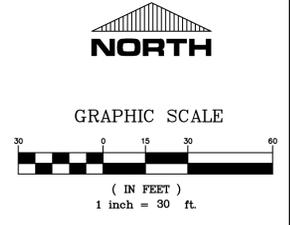
T:\P\AWKINS_34000\44850 Randy Willbanks Proposals\Plan\Site Planning\Scale=1:1 Drawn April 30, 2020 - 2:41pm By Matt



PLANT LIST

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITIES	PLANTING SIZE
	Autumn Blaze Maple	<i>Acer fremanii</i> 'Autumn Blaze'	15	Min. 2 1/2" CALIPER
	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	15	Min. 3 Gal.
	Gold Flame Spirea	<i>Spiraea x bumalda</i> 'Gold Flame'	5	Min. 3 gal.
	Dense Yew	<i>Taxus x media</i> <i>Densiflora</i>	48	Min. 3 gal.

Substitute plants must be approved by the City prior to installation



WEST VILLAGE

Landscape Plan

Sheet No.
2 of 2

CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS

14 W. PEORIA
PAOLA, KANSAS 66071
PHONE: (913) 557-1076
FAX: (913) 557-6904

Designed By	MRC
Drawn By	MRC
Checked By	MRC
Date	4/30/2020
Job No.	34859

No.	Date	Revisions	By
4			
3			
2			
1			

T:\P\RAW\GIS_3400\34859_Randy_Milwaukee_Tropososa\Plan\Landscape_Plan.dwg Scale=1:1 Drawn April 30, 2020 - 2:42pm By: MRC

PRELIMINARY PLAT

WEST VILLAGE

CITY OF TONGANOXIE

LEAVENWORTH COUNTY, KANSAS

Legal Description
(As provided by property owner)

A tract of land in the Southeast 1/4 of Section 8, Township 11 South, Range 21 East of the 6th P.M., in Leavenworth County, Kansas, described as follows: Commencing at the Southeast corner of the Southeast Quarter of Section 8, Township 11 South, Range 21 East; thence South 89°11'59" West, (assumed), 50.00 feet; thence North 00°50'55" West, 660.00 feet to the point of beginning of this tract; thence South 89°11'59" West 660.00 feet; thence North 00°20'20" West 337.24 feet; thence North 89°11'59" East 657.00 feet; thence South 00°50'55" East 337.23 feet to the point of beginning of this tract, LESS any part thereof taken or used for road purposes.

DEVELOPER:
PINNACLE CONSTRUCTION CO., INC.
CONTACT: RANDY WILLBANKS
1227 E 119TH STREET
GRANDVIEW, MO 64030
PHONE: (816) 863-9440

NOTES:
1. Basis of bearings: Final Plat of Vintage Park
2. No direct access will be allowed onto US 24/40 Highway.
3. Subject property lies outside of the 100-year floodplain per FEMA FIRM Map Numbers 2010300301G and 2010300302G, revised July 16, 2015.
4. Title Commitment provided by Alpha Title Guaranty, Inc., Commitment No. 0120120726, dated February 3, 2020 at 8:00 AM. No plottable easements, rights-of-way, or other survey related items were listed in the Title Commitment.

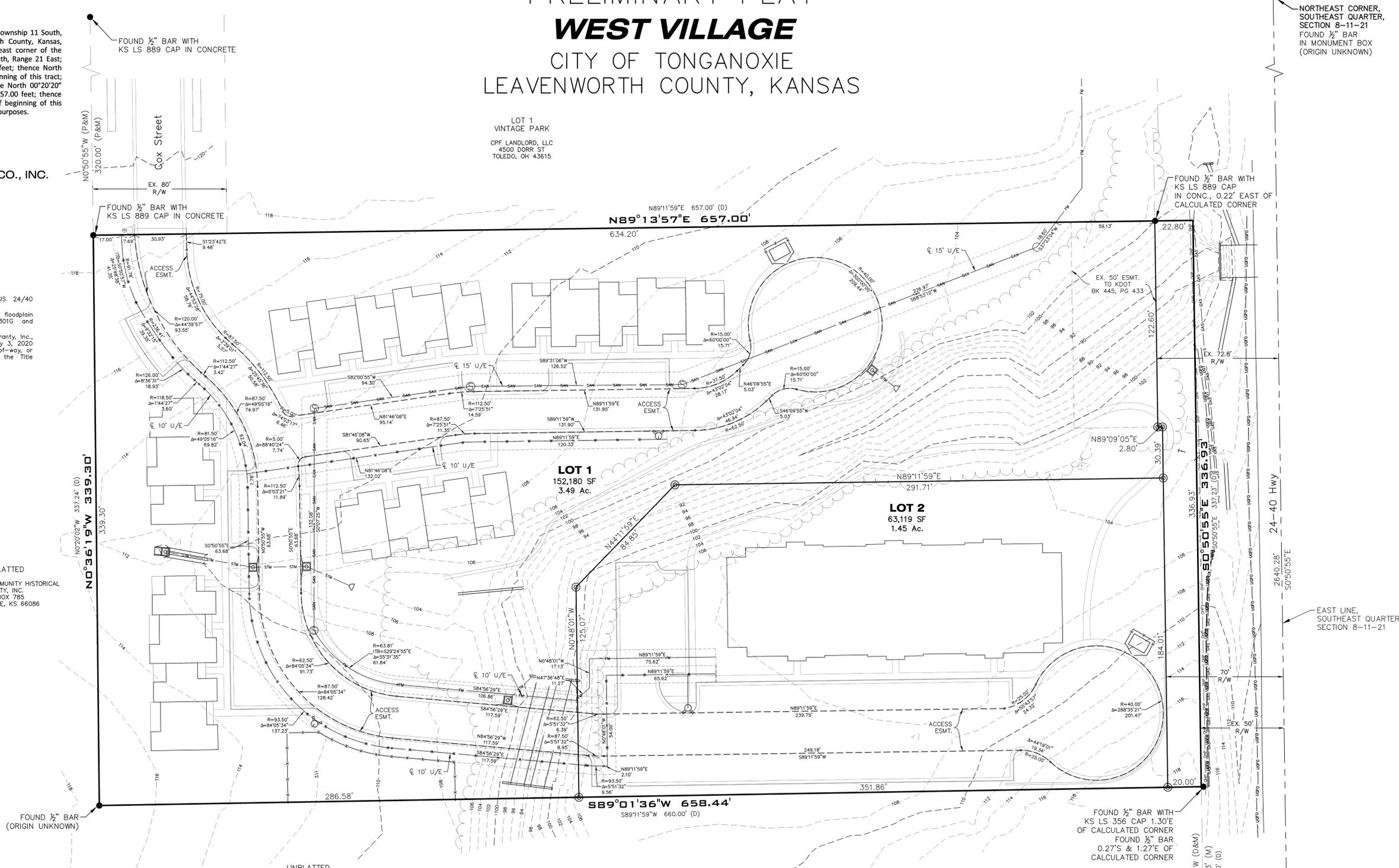
UNPLATTED
TONGANOXIE COMMUNITY HISTORICAL SOCIETY, INC.
P.O. BOX 785
TONGANOXIE, KS 66086

UNPLATTED
WEST HAVEN BAPTIST CHURCH, INC.
BOX 318
TONGANOXIE, KS 66086

LOT 1
VINTAGE PARK
CPF LANDLORD, LLC
4500 DORR ST
TOLEDO, OH 43615

LOT 1
152,180 SF
3.49 Ac.

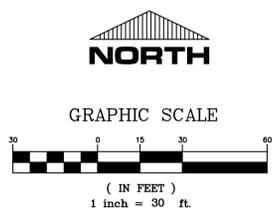
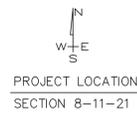
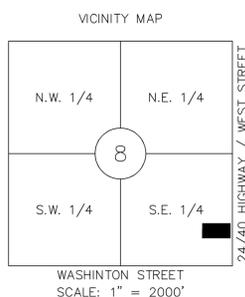
LOT 2
63,119 SF
1.45 Ac.



NORTHEAST CORNER, SOUTHEAST QUARTER, SECTION 8-11-21
FOUND 1/2" BAR IN MONUMENT BOX (ORIGIN UNKNOWN)

EAST LINE, SOUTHEAST QUARTER, SECTION 8-11-21

SOUTHEAST CORNER, SOUTHEAST QUARTER, SECTION 8-11-21
FOUND 1/2" BAR WITH 2" ALUMINUM CAP IN MONUMENT BOX



LEGEND	
▲	MONUMENT FOUND AS DESCRIBED
●	BAR FOUND AS DESCRIBED
⊙	FIRE HYDRANT
⊕	STORM SEWER CURB INLET
⊖	STORM SEWER YARD INLET
⊗	STORM SEWER END SECTION
⊙	SANITARY SEWER MANHOLE
⊕	POWER POLE
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— EX-W — EX-W —	EXISTING WATER LINE
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— GAS — GAS —	EXISTING GAS LINE
— OHP — OHP —	EXISTING OVERHEAD POWER
— UGT — UGT —	EXISTING UNDERGROUND TELEPHONE
— UGFO — UGFO —	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING GRADE CONTOUR
— 1000 —	PRELIMINARY FINISH GRADE CONTOUR
⊕	EXISTING TREE LINE



CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS
122 N. WATER STREET
OLATHE, KANSAS 66061
PHONE: (913) 764-1076
FAX: (913) 764-8635
14 W. PEORIA
PAOLA, KANSAS 66071
PHONE: (913) 557-1076
FAX: (913) 557-6904

Memorandum

To: Melanie Bilby
George Brajkovic
Dan Porter

From: Anna M. Krstulic

Re: Revisions to Sections 26-010 and 30-010 of the Zoning Regulations

Date: April 23, 2020

City staff have discovered certain inconsistencies between the Code of the City of Tonganoxie, Kansas (the "City Code") and the Tonganoxie Zoning and Subdivision Regulations (the "Zoning Regulations") regarding the procedure for appointments to the Planning Commission (the "Commission"), which also serves as the Board of Zoning Appeals ("BOZA"). Currently, there are provisions in both the City Code and the Zoning Regulations that govern the Commission/BOZA:

1. City Code Section 16-101 *et seq.*

Section 16-101 of the City Code specifies the composition of the Commission.

Section 16-102 provides for appointment of Commission members by the Mayor with the consent of the Governing Body at the first regular meeting in **May** of each year. Newly-appointed Commission members take office at the next regular meeting of the Commission. Commission members are appointed to have staggered terms of 3 years each, and the terms of the 2 members who reside outside City limits must not expire in the same year.

Section 16-103 allows the Commission to adopt bylaws for its transaction of business and hearing procedures, and addresses the requirements for Commission meetings, officers and records.

Section 16-104 sets forth the Commission's powers and duties.

Section 16-105 provides for the Commission to serve as the BOZA, allows the BOZA to adopt bylaws for its operation and hearing procedures, and addresses the requirements for BOZA meetings and records.

2. Zoning Regulations Sections 26-010 and 30-010

Section 26-010 provides for the composition, appointments, and replacement of BOZA members primarily by reference to Section 30-010. Section 26-010 also identifies BOZA officers and duties, adoption of bylaws, meeting and record requirements, and staff support.

Section 30-010 of the Zoning Code identifies appointments, terms and vacancies of Commission members. Section 30-010.B states that terms begin in **April** and end in **March**, which conflicts with Section 16-102.

RECOMMENDATION

The language in Sections 26-010 and 30-010 is duplicative and unnecessary. In addition, portions of Section 30-010 are inconsistent with Section 16-102. Staff recommends compliance with Section 16-101 *et seq.* of the City Code and amendments to the Zoning Regulations to eliminate the inconsistency and duplication. Upon motion unanimously approved, the Governing Body requests that the Commission consider the following amendments to the Zoning Regulations:

26-010 Reserved.BOARD OF ZONING APPEALS

~~A. Appointment: A Board of Zoning Appeals is hereby created. The Board shall consist of the members of the Planning Commission and may also include Members of the Public at Large. (Amended by Ordinance # 1184 5/9/05). Appointment procedures shall be the same as observed by that body. (See Section 30, Planning Commission.) All requirements regarding quorums and majorities shall be based on the planning commission requirements outlined in Section 30 of this ordinance. (Ordinance #906 8/22/94)~~

~~B. The board shall consist of seven (7) members appointed by the Mayor with approval by the Governing Body for the City of Tonganoxie. Members of the Board shall serve without compensation. (Amended by Ordinance # 1184 5/9/05)~~

~~C. Replacement of Board Members: All replacement of Board members shall be accomplished by the procedure outlined in Section 30 of this ordinance (Ordinance #906 8/22/94).~~

~~Officers and Duties: The Board of Zoning Appeals shall annually elect a chairman and a vice-chairman. The chairman, or in his absence the vice-chairman, shall preside at all meetings and shall decide all points of order or procedure.~~

~~Rules and Meetings: The Board may adopt rules to govern its proceedings in accordance with the provisions of this ordinance. Meetings of the board shall be held at any time at the call of the Chairman and at such other times as the board may determine. All meetings of the Board shall be held at such place or places within the City as the Board may designate. All meetings shall be open to the public. The board shall keep minutes of its proceedings, showing evidence presented, findings of fact by the board, decision of the board, and the vote upon each question. Records of all official actions of the board shall be filed with the City Clerk at City Hall and shall be a public record.~~

~~Staff Support: Staff members for the Board of Zoning Appeals shall consist of the City Planner and a Secretary, which shall be employees of the City.~~

30-010 Reserved.PLANNING COMMISSION

~~A. Appointment The Planning Commission shall consist of seven (7) members of which five members shall be residents of the city and two members shall reside outside the city limits, but within the designated~~

~~planning area of the city which is within at least three miles of the corporate limits of the city. K.S.A 12-744(a). The members of the Planning Commission shall be appointed by the Mayor with approval of the Governing Body for the City of Tonganoxie. Members of the Commission shall serve without compensation.~~

~~Terms and Vacancies: Terms for Commissioners shall be three (3) years, with the members divided as evenly as possible so that terms end on alternating years. Vacant, unexpired terms shall be filled by appointment by the Mayor with the consent of the Governing Body and such appointment shall be for the remainder of the unexpired term. Terms shall begin in April and expire in March. The Governing Body should provide by Ordinance or Resolution for the term of the members of the Planning Commission and for the filling of vacancies.~~

PROCEDURE

Amendment of the Zoning Regulations requires consideration and recommendation of the Commission following a public hearing pursuant to state law (K.S.A. 12-749, 12-757) and Section 27-011 of the Zoning Code, which sets forth the following procedures:

- a. Governing Body or Commission files recommendations for amendment with the City Clerk;
- b. City Clerk submits the recommendations to the Commission;
- c. Commission considers the recommendations and if approved (with or without revision), sets the matter for public hearing;
- d. City Clerk publishes notice 20 days prior to public hearing stating the time and place and providing a description of the proposed amendment along with a statement that the proposed amendment is available at the City Clerk's office;
- e. Commission holds public hearing to allow interested parties to be heard, and then submits recommendations to Governing Body;
- f. Governing Body may: (1) adopt by ordinance, (2) override by 2/3 vote (i.e., 4 votes, including Mayor), or (3) return recommendation to Commission with statement specifying basis for failure to approve/disapprove. In the event of (3):
 - o Commission must consider at next regular Commission meeting, and either resubmit original recommendation or submit new and amended recommendation to Governing Body;
 - o Governing Body may, by simple majority: (1) adopt or (2) amend and adopt the recommendation by ordinance, or (3) take no action.

AMK: