



TONGANOXIE PLANNING COMMISSION

Agenda

November 7, 2019

7:00 p.m.

City Council Chambers

321 S. Delaware St.

*Note – This meeting may be transmitted via Facebook Live on the City of Tonganoxie page

CALL TO ORDER – Planning Commission Meeting

1. **APPROVAL OF PC MINUTES** – October 3, 2019
2. **OPEN AGENDA** – In order to speak during open agenda, you must sign in **before the meeting**. Please give your name and address to the City Clerk or designee. Comments will be limited to 3 minutes. Please wait to be recognized by the Chair and before speaking **state your name and address** for the record.
3. **NEW BUSINESS**
 - a) Final Plat – 304 Shawnee Street – Submitted by Schoolyard Townhomes, LLC.
 - b) Development/Site Plan – 304 Shawnee Street – Submitted by Schoolyard Townhomes, LLC
 - c) *CONTINUED TO 12/5/19* - Special Use Permit – 704 E 4th Street – Submitted by Desiree Kenney & Tots to Teens Childcare LLC
4. **OLD BUSINESS**
 - a) Final Plat – Saunders Estates on Smiley Road – Submitted by Jack Willis
5. **GENERAL INFORMATION**
6. **ADJOURN**



Planning Commission Meeting Minutes

October 3, 2019

7:00 p.m. Regular Meeting

CALL TO ORDER

- Chairman Morgan opened the meeting at 7:00 p.m.
- Roll Call: Planning Commissioners present were Chairman John Morgan, Vice Chairman Monica Gee, Patti Bitler, Kevin Harris, Jake Dale and Crystal Harris. Zach Stoltenberg was absent. City Manager George Brajkovic, Planning Clerk Melanie Tweedy, City Planner Chris Brewster, City Attorney Anna Krstulic, and Assistant City Manager Dan Porter were also present.

1. APPROVAL OF PC MINUTES – September 5, 2019

- Mr. Dale motioned to approve the Planning Commission meeting minutes from August 1, 2019, noting that there were incomplete comments, but that did not affect the overall approval of minutes.
- Ms. Gee seconded.
- Vote of all ayes, motion carried.

2. OPEN AGENDA – In order to speak during open agenda, you must sign in before the meeting. Please give your name and address to the City Clerk or designee. Comments will be limited to 3 minutes. Please wait to be recognized by the Chair and before speaking state your name and address for the record.

- No members of the public wished to speak.

3. NEW BUSINESS

- No New Business

4. OLD BUSINESS

A) Public Hearing – Preliminary Plat – Schoolyard Townhomes – Submitted by Schoolyard Townhomes, LLC

- Chris Brewster, City Planner, presented the staff report and revised preliminary plat. He explained that approval of the preliminary plat would allow the applicant to move forward with the final plat. He went on to explain that the planned district portion of the rezone and its requirements. He stated that they would recommend approval of the preliminary plat.
- Chairman Morgan noted that plan document changes were received in the most recent packet but the staff report remained unchanged.
- Mr. Brewster affirmed that the preliminary plat issues referenced in the most recent staff report remained

- Mr. Jason Swords, with Sunflower Development Group, addressed the Planning Commission and noted the design team had made several adjustments to the plans based on the feedback from a neighborhood meeting held next week.
 - Chairman Morgan opened the public hearing portion of the agenda.
 - No members of the public spoke in favor of the application.
 - No members of the public spoke in opposition to the application.
 - Chairman Morgan closed the public hearing.
 - Chairman Morgan asked about the changes made to parking at the project.
 - Mr. Sword shared that the revised plans included consolidation of parking into the center of the site.
 - Chairman Morgan asked about the trash receptacle plans for the site.
 - Mr. Swords noted that the central dumpster would service the entire site and that staff at the facility would monitor the site to prevent dumping or misuse of the receptacle.
 - Chairman Morgan commented that the easement from the street to the building would be 20 feet in total.
 - Mr. Dale commented that the discussion was focused on moving two story units to the center of the property and away from the street edge and for the total number of bedrooms for the development.
 - Mr. Swords responded that the issue of the two story units would be addressed with the final plat and site plan. He also stated that the total number of bedrooms for the development would be approximately 54.
 - Ms. Gee shared that she attended the recent neighborhood meeting and received answers to her questions and was impressed with the work of the developers. She also explained that she had spoken with other communities who have worked with these developers and they only had good things to say.
 - Mr. Swords mentioned that 6 people were currently on the wait list for the property.
 - There were no additional comments from the commissioners.
- **Ms. Gee made a motion to approve to the preliminary plan with the conditions presented by staff.**
 - **Ms. Bitler seconded.**
 - **Vote of 5 ayes, 1 nay, motion carried.**
- B) Public Hearing – Variance – 834 E 4th Street – Submitted by Kelly Angell and Steve Trieb
- Mr. Brajkovic commented that the applicant had noticed for a public hearing but that they didn't meet the requirements for the site plan at this time. He explained that we are working with the applicant to ensure that they meet the requirements for consideration.
 - **Ms. Gee made a motion to continue the item to the next Planning Commission meeting on November 7th, 2019 at 7pm in City Council Chamber.**
 - **Mr. Harris seconded.**
 - **Vote of all ayes, motion carried.**

5. GENERAL INFORMATION

- Mr. Brajkovic shared that Leavenworth County is completing a Comprehensive Plan Update and that ongoing discussions include findings that the southern portion of the County is growing more quickly.
- Mr. Morgan wondered if it would be appropriate to update and improve the 2020 Comprehensive Vision Plan.
- Mr. Brajkovic stated that staff is reviewing the plan as it is to ensure that the plan is appropriate going forward, but commented that a complete overhaul of the document would need to be a 2021 budget initiative for the City Council to consider.
- Ms. Gee asked if there was any progress being made on cleaning and improving the businesses and storefronts on 4th Street.
- Mr. Brajkovic responded that we would have to research and discuss as staff how to go about making the downtown design standards and guidelines into requirements.
- Mr. Brewster explained that the Historic Downtown Business District Design Standards are not written in a way that it could be enforced as conditions and requirements. He did explain that we have utilized these standards to help with newer downtown businesses.
- Mr. Brajkovic stated that we will explore options and will discuss at the next meeting.

6. ADJOURN

- **Ms. Gee made a motion to adjourn the meeting.**
- **Mr. Dale seconded the motion.**
- **Vote of all ayes, motion carried.**
- **Meeting adjourned at 7:37 p.m.**

Respectfully submitted,

Melanie Tweedy, Planning Clerk



City of Tonganoxie, Kansas

PLANNING STAFF REPORT

Case#: 2019-007P

Date of Report: November 1, 2019

Application: Final Plat & Final Development Plan – R-MF-2P Zoning

Action: *A final plat requires review and approval by the Planning Commission. If the plat meets the standards of the subdivision regulations, the Planning Commission shall approve the final plat. If there are any dedications of land for public purposes, they require acceptance by the City Council.*

A final development plan requires a review by the Planning Commission with a recommendation to the City Council. If the final development plan is in substantial compliance with the Preliminary Development Plan, meets any conditions placed on approval of an Outline Development Plan or Preliminary Development plan, and meets all other applicable standards, it should be recommended for approval.

Applicant Name: Schoolyard Townhomes LLC

Property Owner Name: Tongie5 LLC, Kay Soetaert or Ben Robbins

Subject Property Address: 210 E. Second Street

Property Size: 2.4 acres (106,600 s.f.)

Zoning: R-MF-2P (conditioned on final development plan)

Legal Description: (varied – multiple lots between Church and Shawnee, and between Second Street and Third Street extended)

Date of Application: 10/25/2019
Date of Public Hearing: 11/7/2019

I. SUMMARY:

This application is a Final Plat and Final Development Plan for 32 townhomes in 6 blocks of buildings at Second Street, between Church and Shawnee Streets. The project is part of the school redevelopment that includes the Library fronting on Fourth Street.

The planning commission reviewed a proposal in September to rezone approximately 2.45 acres from "R-SF" Single-family District to "RMF-2-P" Multiple-Family 2 District, with a "P" designation to account for deviations from the development standards based on a specific plan. The Planning Commission recommended approval of the rezoning to the City Council, with specific conditions to be addressed in the Final Development Plan. The Planning Commission took no action on a preliminary plat for the same project at the September meeting, but approved a preliminary plat at the October meeting. The City Council approved the rezoning from R-SF to R-MF-2P at its October 14th meeting, subject to the conditions recommended by Planning Commission.

II. ANALYSIS

A. *Final Development Plan*

1. **Zoning.** The rezoning to the "P" designation accommodated requests for specific deviations from the R-MF-2 development standards based on the preliminary development plan which included:
 - a. a reduction in the front setbacks along Church, Second Street, and Shawnee Street;
 - b. a reduction in the side setbacks for buildings with sides along Church Street and Shawnee Street;
 - c. a reduction in the parking; and
 - d. the allowance of attached buildings with more than 4 dwelling units and per-unit lot and building widths of approximately 20' to 30'.
2. **Preliminary Development Plan.** The preliminary development plan also placed the following additional limits on the project:
 - a. the density would be limited to 32 units;
 - b. the buildings would be limited to 1.5 and 2-story buildings;
 - c. the arrangement of open spaces and pedestrian circulation would be as specified on the plan; and
 - d. the following specific items were recommended by staff as "next steps" between preliminary development plan and final development plan:
 - A final landscape plan be submitted and approved by planning staff in association with the final development plan. The plan shall
 - identifying species and planting specifications;
 - consideration of street trees between the sidewalk and street in conjunction with the street improvements.
 - Specifically trees spaced along Shawnee between curb and sidewalk if possible and some added to the north end; and on second street some trees added to the landscape areas that bulb out within the on-street parking.
 - Other landscape treatments to soften facades along the side elevations closest to Church and Shawnee shall be considered.
 - Further detail on planting, landscape or structural hardscape components should be explored to add definition and human scale to the entry court and entry features of each unit along the streetscape.

- Site plans in substantial conformance with the preliminary development plan, elevations, materials, and above conditions be reviewed and approved by Planning Commission prior to building permits.
3. **Planning Commission Review & Recommendation.** The Planning Commission also conditioned the recommendation for approval on specific issues to be addressed in this Final Development Plan:
 - a. Revisit the design of on-street parking on Second Street, and locate as much parking as possible internal to the site;
 - b. Review side setbacks requested along Church and Shawnee, and address by either relocating the buildings, limit blank walls on the close side elevations, increase landscape to soften these areas, or a combination of all of these elements.
 4. **Final Development Plan.** The final development plan is in substantial conformance with the preliminary development plan and addresses the above criteria and conditions in the following manner:
 - a. **Parking.** All of the existing head in parking on Second Street is proposed to be removed in place of a continuous curb line and landscape area. The on-site parking has been increased from 36 in the preliminary plan to 50 in the final development plan. The ordinance requires 48, so this plan complies with the R-MF-2 zoning district standards, and the project no longer needs to take advantage of deviations offered by the planned zoning designation. Additionally, although the on-street parking is no longer present, spaces for approximately 20 to 25 spaces exist on the streets for visitor or similar accessory parking, as is the case in all neighborhoods. Planning staff considers on-street parking a benefit to walkable neighborhood streetscapes since it calms traffic, buffers pedestrians from moving vehicles, and eliminates unnecessary or repetitive driveways of surface parking areas. All of these benefits are applicable in this context. The final plan meets the ordinance requirement for parking and the Planning Commission recommendations for approval.
 - b. **Side Setbacks.** The side setbacks remain as proposed in the preliminary development plan. They are:
 - 1.7 feet (Building C-1 on Church Street)
 - 6.7 feet (Building A-1 on Church Street)
 - 5.1 feet (Building B-1 on Shawnee Street)
 - 5.1 feet (Building B-2 on Shawnee Street)
 This is consistent with the preliminary plan and presents an exception to the R-MF-2 required side yard of 10'. There is an additional 12' to 18' to the street edge in each case. The applicant has elected to address the staff recommendation and Planning Commission concerns with the preliminary development plan by: (1) adding windows and doors, and material changes to all side elevations to break down the scale of the walls; (2) using 1-story elevations on some sides – particularly those closest to the side lot line; and (3) increasing the landscape elements – particularly using street trees in the right of way, which will provide a “second layer” buffer creating a more pedestrian scale to the streetscape and when viewed from the opposite block face.
 - c. **Entry Features.** Most of the entrances are side-oriented, and do not directly front the street. However, each unit has and change in material and color associated with the paired or mirrored entries. The entrances will be visible alternating down the streetscape, depending on the angle. Additionally, the corner units also have direct entries /entry areas. All of the entry areas are lined with low hedges, which combined with the shade tree canopy should provide a sufficient “social space” that helps activate the streetscape with a more pedestrian-oriented atmosphere.

- d. *Landscape Plan.* The landscape plan does a good job of providing accent to the buildings and frontages, softening some portions of elevations where larger wall expanses exist or utility areas, and improving the public realm and relationship of the site to the streetscape. Staff may still have some species and location recommendations to ensure longevity of plants and to be coordinated with final construction plans – particularly as it relates to street trees. Ideally, as many of the trees as possible should be located in the tree lawn between the sidewalk and curb. Where that is not possible due to limited space or other infrastructure considerations, the frontage locations are an acceptable alternate.
- e. *Building Elevations.* The elevations are consistent with the previous elevations but include more details on materials. Additionally, the two-story elements are mid-block on Second Street, and the end units nearest the Library on Church and Shawnee Streets. The materials are a limestone veneer, with cementitious lap siding (alternating green and blue pale hues), with dark grey trim, white or light grey shingles differentiate the massing of upper stories and gables, and use standing seam metal roofs.

B. Final Plat

The final plat is in substantial conformance with the approved preliminary plat, and meet all lot requirements of the R-MF-2 zoning and the preliminary development plan. Since this project is a single-lot plat with multi-unit buildings, the planning issues with the plat are routine and merely document the lot as a legal ownership within the bounds of the current rights-of-way on surrounding streets. The engineering and utility issues are the more important platting considerations, and are documented in the City Engineer’s review and comments and included in the Planning Commission packet.

III. EFFECT OF DECISION

The Planning Commission makes a recommendation to the City Council on the Final Development Plan, since it is associated with the planned rezoning of the property. Approval of a Final Development Plan authorizes the applicant to prepare building plans and construction documents, and apply for permits demonstrating that they meet all applicable City standards and any conditions of the final development plan.

The Planning Commission approves final plats, however any dedication of land for public use must be accepted by the City Council (none in this case since all rights-of-way are established and all other utilities are in private easements). Upon approval by the Planning Commission (and acceptance of any public dedications), the applicant may record the plat with the County.

IV. STAFF RECOMMENDATION

Staff recommends approval of the Final Development Plan subject to:

1. The stormwater calculations and quantifications requested by the City Engineer be provided and all issues resolved prior to or in conjunction with construction permits.
2. The landscape plan is approved in concept with some final staff recommendations to be made on specific locations or species of plants – particularly the street trees – in coordination with construction plans.

Staff recommends approval of the Final Plat subject to the City Engineer comments submitted with the Planning Commission packet.



Chris Brewster
Contract City Planner



Future Land Use (Tonganoxie Comprehensive Plan 2006)

MEMO

To: George Brajkovic, City Manager
City of Tonganoxie

Cc: Dan Porter, Asst. City Manager
Chris Brewster, City Planner, Gould Evans
Melanie Tweedy, City of Tonganoxie
Kent Heskett, City Superintendent
Brian Lavery, PE, Continental Consulting Engineers, Inc.

From: Brian Kingsley, PE, City Engineer

Date: November 11, 2019

Re: Schoolyard Lofts
Development Construction Documents Review
19-1001L

Documents included in this review include:

Final Development Plan dated: 10-25-19

Final Plat dated: 9-4-19

Sanitary Sewer Construction plans dated: 10-25-19

Public Street and Water Main Construction plans dated 10-25-19

Stormwater Drainage Study dated: 10-25-19

The following are the City Engineer and staff review comments related to Engineering issues:

Final Development Plan:

- 1) Staff requests additional detail to quantify the amount of runoff and grading detail for storm water discharge at the Southwest corner of the site.

Recommendation: The City should consider approval of the Final Development Plan contingent upon the above items being addressed. We believe the details can be addressed at the staff level.

Final Plat:

- 1) The Final Plat appears to be in substantial compliance with the Preliminary Plat.

Recommendation: The City should consider approval of the Final Plat without contingency.

Sanitary Sewer Construction Plans:

- 1) The applicant is required to submit the construction plans to KDHE and obtain a permit for extension of the City Sanitary Sewer System. Applicant can coordinate with City Hall staff for example past permit.

Recommendation: The City should consider approval of the Sanitary Sewer Construction Plans contingent upon the applicant obtaining a KDHE permit. We believe the details can be addressed at the staff level.

Public Street and Water Main Construction Plans:

- 1) The applicant is encouraged to review sidewalk condition along the East side of Church Street. The City does not have any plans for replacement of this sidewalk in their CIP.
- 2) The traffic control plan shows closing portions of Church Street, 2nd Street and Shawnee Street.
 - a. Closing of portions of Streets should occur on a limited basis for short durations to accommodate construction.
 - b. The contractor shall be required to notify the City Superintendent prior to closing any public street during construction.
- 3) Eliminate the air release valve at Sta. 1 + 80.
- 4) 4" water service lines crossing streets need to be separated by a minimum of 3' measured center of pipe to center of pipe.
- 5) Typical water meter vault detail. Consider lowering the bottom of the vault by 1' and adding 6" washed rock in the bottom of the vault. Consider running a 10' corrugated drain tile out of the vault to allow water to drain. Details to be worked out with City Superintendent.

Recommendation: The City should consider approval of the Public Street and Water Main Construction Plans contingent upon the above items being addressed. We believe the details can be addressed at the staff level.

Stormwater Drainage Study:

- 1) The Stormwater Drainage Study documents a reduction in the rate of storm water discharge from the site from the prior developed state consisting of a school.

Recommendation: The City should consider approval of the Stormwater Drainage Study without contingency.

--END

For questions or comments, please contact:

Brian Kingsley, PE

President

Direct: 785-727-7261

E: brian.kingsley@bgcons.com

Stormwater Drainage Study for:

**Schoolyard Lofts
NW Corner of 3rd St. and Shawnee St.
Tonganoxie, Kansas 66086**

October 25, 2019

Owner/Developer:

Schoolyard Townhomes, LLC
1125 Grand Blvd, Suite 202
Kansas City, MO 64106
Phone: (816) 581-3992
jswords@sunflowerkc.com

Architect:

Odimo
701 E. 63rd Street, Suite 210
Kansas City, MO 64110
Phone: (816) 708-1500

Engineer/Prepared By:

Continental Consulting Engineers, Inc.
9000 State Line Road
Leawood, Kansas 66206
Phone: (913) 642-6642
bl@ccengineers.com



10/25/2019



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General Information

This drainage study addresses the stormwater drainage requirements for the proposed Schoolyard Lofts multi-family development at the northwest corner of 3rd Street and Shawnee Street in Tonganoxie, Leavenworth County, Kansas. This project consists of the construction of 6 multifamily residential buildings, an office/community space and associated parking and green space. The development lies on the north portion the former Tonganoxie Elementary School site.

Methodology

This study uses the guidelines from the City of Tonganoxie, Kansas, Ordinance #1064. The hydrologic modeling software is Bentley PondPack and uses the SCS TR-20 methodology. Per the City guidelines, a 10-yr and 100-yr storm will be analyzed with a Type II distribution and duration of 3 hours.

Existing Condition Analysis

Currently the property is covered in pavement and grass following the demolition of the elementary school in late 2017. This study will consider the existing condition as having the elementary school and playground in place. See Exhibit 1 for the “Existing Conditions”, based off topography and historical aerial imagery 5 sub-basins will be analyzed. Based off the NRCS mapping the soil is of Hydrologic Group C/D.

Basin N1 consists of grassed courtyard and 2 trailers used as school facilities and drains north into 2nd Street. Basin E1 consists mainly of the eastern portion of the old school roof and drains into Shawnee Street. All of the drainage from the N1 and E1 subbasins flows overland (no storm sewer) and joins at the intersection of 2nd and Shawnee.

Basin S1 comprised some roof area and green space that drains toward the southwest and into the property that is currently being developed as the City library.

Basin W1 is made up of some roof, playground, and green space and appeared to drain toward a north school driveway on Church Street. Basin W2 is primarily roof and parking/playground area that drained toward a south drive on Church Street. All of the drainage from W1, and W2 flowed overland (no storm sewer) toward Church Street at the southwest corner of this property.

Representatives from the City have indicated that there are flooding concerns further southwest of this property in residential areas. There are capacity issues with drainage to the southwest and the system can not handle any more runoff in this direction.

A summary of existing areas, curve numbers and flows is shown in Tables 1 and 2. A further breakdown of these calculations is shown in the Appendix in Tables A.1, A.3, and the PondPack output.

Table 1: Existing Condition Analysis:

Subbasin	Area (ac)	Curve Number	10-yr flow (cfs)	100-yr flow (cfs)
N1	0.44	86.3	2.12	3.97
E1	0.64	96.2	4.41	7.24
W1	0.46	89.2	2.56	4.65
W2	0.63	95.3	4.27	7.07
S1	0.28	82.0	1.09	2.17

Table 2: Summary of Existing Flows:

Area	10-yr flow (cfs)	100-yr flow (cfs)
2 nd and Shawnee St (Northeast: N1 and E1)	6.31	10.81
3 rd and Church St (West: W1, W2)	6.82	11.72
Library (S1)	1.09	2.17

Proposed Condition Analysis

The proposed condition of the project consists of the construction of 6 multifamily buildings totaling 32 units with an associated office/community building as well as parking and green space. With no storm sewer available on the site, it is proposed that the drainage will flow in swales or curb and gutter back to the street, following similar patterns that existing when the school was in place. There is a targeted attempt to divert some of the flow currently heading southwest back to the northeast to alleviate a small portion of the existing drainage concerns further southwest of this project. See Exhibit 2 for "Proposed Conditions". Based off the layout and proposed grading, 9 sub-basins will be analyzed.

Basin N101 consists of the north half of most of the roofs along 2nd Street and the front yards of these units. Basin E101 is the rear roofs of the 2 northeast buildings, basin E201 is mainly the east parking lot, some green space, and roof area and finally E301 is the front roof and yards of the southeast building. These areas drain out into 2nd Street and Shawnee and combine at the intersection of 2nd and Shawnee.

Basin S101 is mainly greenspace that sheetflows toward the south and onto the proposed library site.

Basin W101 consists of the rear roofs and backyards of the 2 northwest buildings. Basin W201 consists of the west parking and some roof, it outlets to a similar point as W1 did in the existing condition. Basin W301 sheet flows the front yard and roofs of the southwest building. Finally W401 is mostly green space and a little roof. This area is diverted around the southwest building in a swale and out toward Church to a point that would compare to the outlet of W2 in the existing condition.

A summary of proposed areas, curve numbers and flows is shown in Tables 3 and 4. A further breakdown of these calculations is shown in the Appendix in Tables A.2 and A.3 and the PondPack output.

Table 1: Proposed Condition Analysis:

Subbasin	Area (ac)	Curve Number	10-yr flow (cfs)	100-yr flow (cfs)
N101	0.19	91.4	1.16	2.02
E101	0.29	88.1	1.43	2.64
E201	0.41	95.1	2.70	4.84
E301	0.12	88.8	0.71	1.31
S101	0.09	79.3	0.74	1.33
W101	0.26	87.8	1.23	2.39
W201	0.34	93.7	2.24	3.81
W301	0.12	92.0	0.74	1.28
W401	0.63	79.0	1.36	2.87

Table 2: Summary of Proposed Flows:

Area	10-yr flow (cfs)	100-yr flow (cfs)
2 nd and Shawnee St (Northeast: N1 and E1)	5.33	9.23
3 rd and Church St (West: W1, W2)	6.11	11.52
Library (S1)	0.31	0.65

Summary and Conclusions

The proposed Schoolyard Lofts development at the northwest corner of 3rd and Shawnee Streets will reduce the impervious area of the site as well as reduce runoff from the site. A comparison of the existing vs proposed conditions at 3 critical runoff points is summarized below:

Table 5: Comparison of Existing vs Proposed Flows

Area	Existing 10-yr flow (cfs)	Proposed 10-yr flow (cfs)	Existing 100-yr flow (cfs)	Proposed 100-yr flow (cfs)
2 nd and Shawnee St (Northeast: N1 and E1)	6.31	5.33	10.81	9.23
3 rd and Church St (West: W1, W2)	6.82	6.11	11.72	11.52
Library (S1)	1.09	0.31	2.17	0.65

In all 3 cases, the peak runoff has been reduced. Since none of the drainage is conveyed by storm sewer, the streets and curb and gutter convey the runoff. With the reduction in peak flows the street spread should be reduced. In addition, the reduction in peak flows toward the southwest should not aggravate any existing drainage issues toward that area.

Exhibits

EXHIBIT 1:
SCHOOLYARD LOFTS
EXISTING CONDITIONS

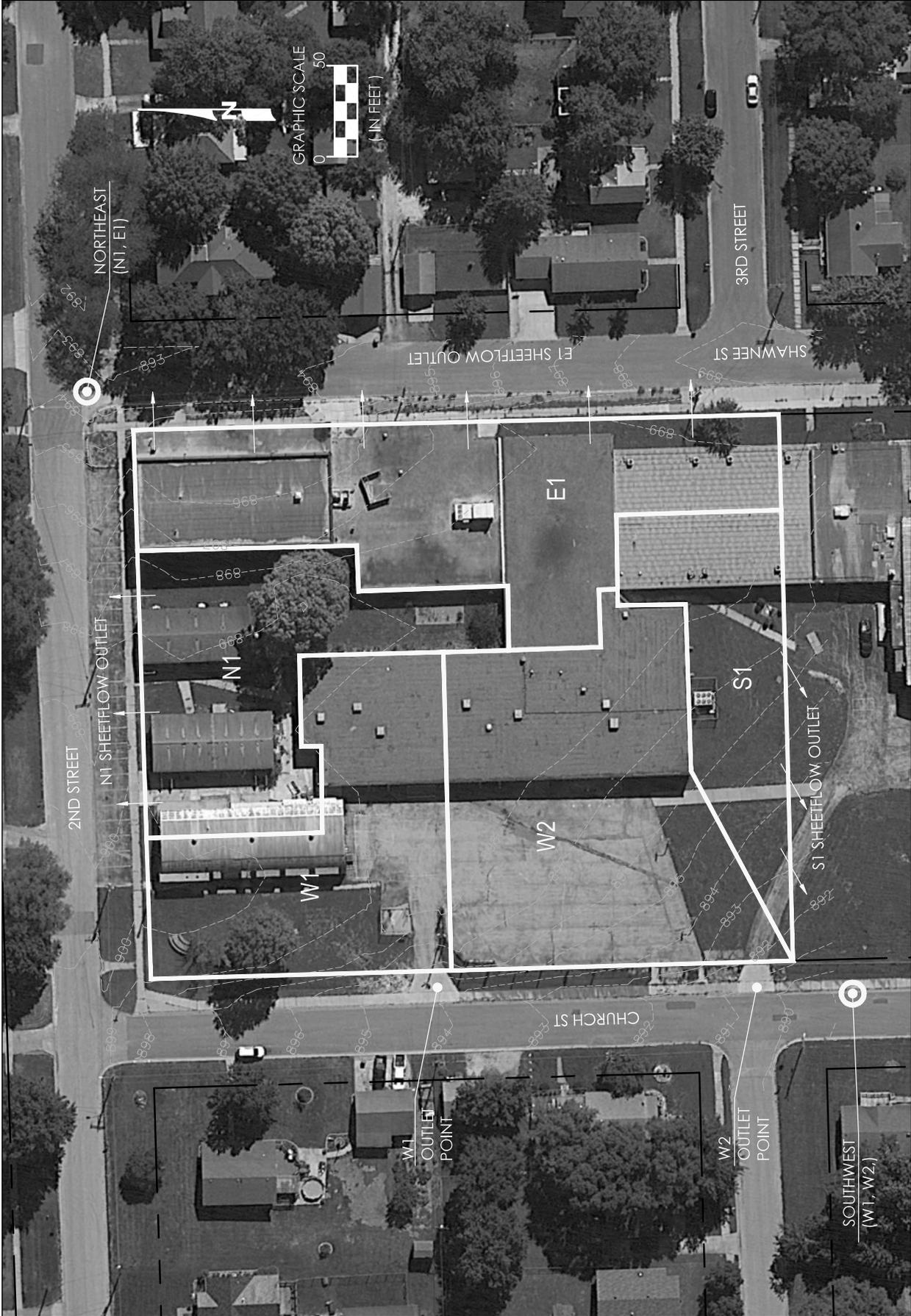
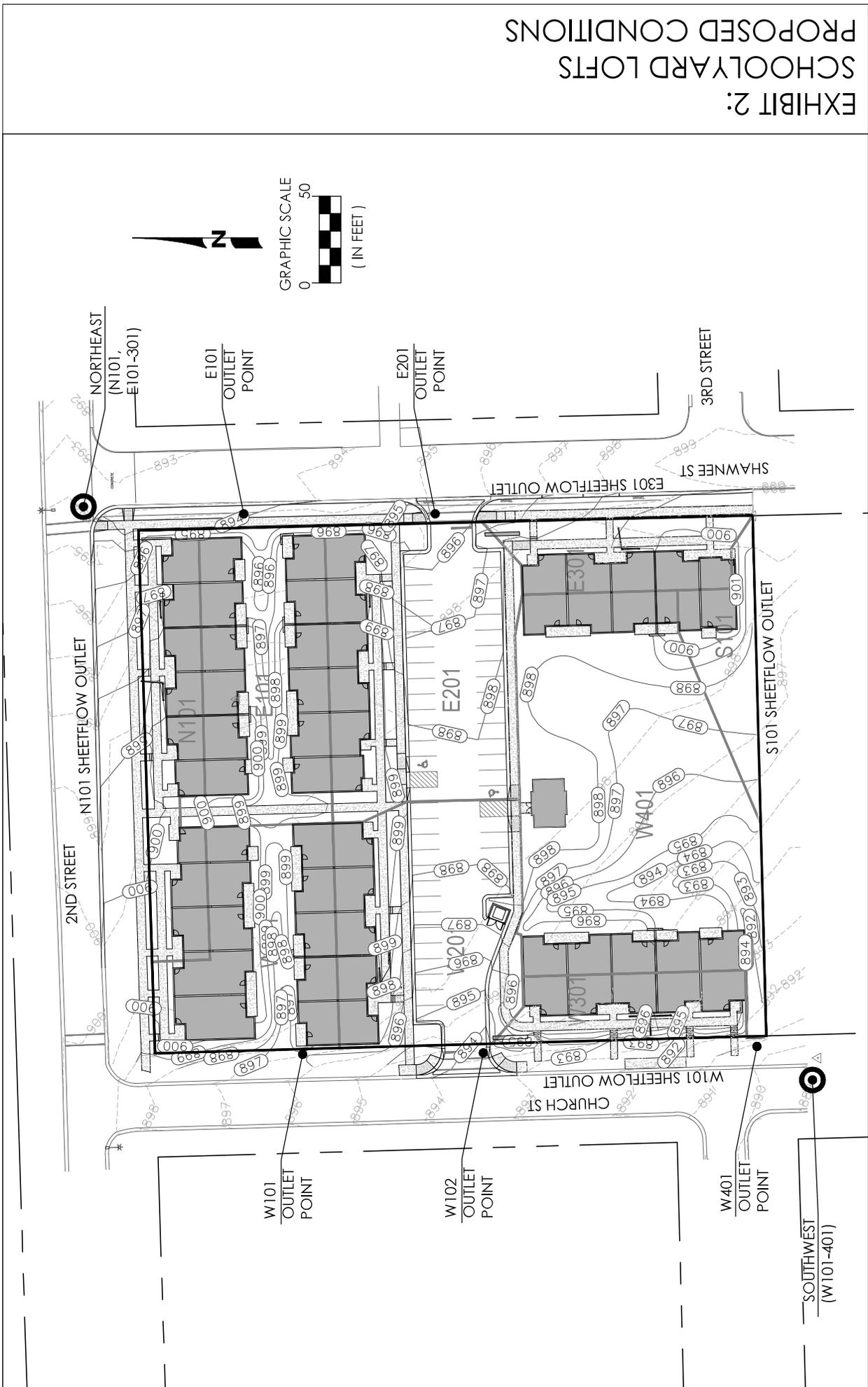


EXHIBIT 2:
SCHOOLYARD LOFTS
PROPOSED CONDITIONS



Appendix

SCHOOLYARD LOFTS, 2ND AND CHURCH STREET, TONGANOXIE, KS

TABLE A.1
 AREA AND CURVE NUMBER SUMMARY
 EXISTING CONDITIONS, TR-20 METHODOLOGY

EXISTING CONDITIONS				
COVER TYPE	AREA (ac)	AREA (sf)	SOIL TYPE	CURVE NUMBER
Area: N1				
Impervious Area: Paved parking lots, roofs, driveways	0.22	9769	C	98.0
Open Space: Lawn: Good condition	0.21	9364	C	74.0
<i>Composite North Drainage Area</i>	<i>0.44</i>	<i>19133</i>		<i>86.3</i>
Area: W1				
Impervious Area: Paved parking lots, roofs, driveways	0.29	12749	C	98.0
Open Space: Lawn: Good condition	0.17	7355	C	74.0
Area: W2				
Impervious Area: Paved parking lots, roofs, driveways	0.56	24420	C	98.0
Open Space: Lawn: Good condition	0.07	3148	C	74.0
<i>Composite West Drainage Area</i>	<i>1.09</i>	<i>47672</i>		<i>92.7</i>
Area: S1				
Impervious Area: Paved parking lots, roofs, driveways	0.09	4116	C	98.0
Open Space: Lawn: Good condition	0.19	8195	C	74.0
<i>Composite South Drainage Area</i>	<i>0.28</i>	<i>12311</i>		<i>82.0</i>
Area: E1				
Impervious Area: Paved parking lots, roofs, driveways	0.59	25598	C	98.0
Open Space: Lawn: Good condition	0.05	2083	C	74.0
<i>Composite East Drainage Area</i>	<i>0.64</i>	<i>27681</i>		<i>96.2</i>
TOTAL	2.45	106797		91.2

SCHOOLYARD LOFTS, 2ND AND CHURCH STREET, TONGANOXIE, KS

TABLE A.2
 AREA AND CURVE NUMBER SUMMARY
 PROPOSED CONDITIONS, TR-20 METHODOLOGY

PROPOSED CONDITIONS				
COVER TYPE	AREA (ac)	AREA (sf)	SOIL TYPE	CURVE NUMBER
Area: N101				
Impervious Area: Paved parking lots, roofs, driveways	0.14	5930	C	98.0
Open Space: Lawn: Good condition	0.05	2246	C	74.0
<i>Composite North Drainage Area</i>	<i>0.19</i>	<i>8176</i>		<i>91.4</i>
Area: W101				
Impervious Area: Paved parking lots, roofs, driveways	0.15	6732	C	98.0
Open Space: Lawn: Good condition	0.11	4576	C	74.0
Area: W201				
Impervious Area: Paved parking lots, roofs, driveways	0.28	12257	C	98.0
Open Space: Lawn: Good condition	0.06	2614	C	74.0
Area: W301				
Impervious Area: Paved parking lots, roofs, driveways	0.09	3722	C	98.0
Open Space: Lawn: Good condition	0.03	1451	C	74.0
Area: W401				
Impervious Area: Paved parking lots, roofs, driveways	0.13	5663	C	98.0
Open Space: Lawn: Good condition	0.50	21780	C	74.0
<i>Composite West Drainage Area</i>	<i>1.35</i>	<i>58795</i>		<i>85.6</i>
Area: S101				
Impervious Area: Paved parking lots, roofs, driveways	0.02	871	C	98.0
Open Space: Lawn: Good condition	0.07	3049	C	74.0
<i>Composite South Drainage Area</i>	<i>0.09</i>	<i>3920</i>		<i>79.3</i>
Area: E101				
Impervious Area: Paved parking lots, roofs, driveways	0.17	7569	C	98.0
Open Space: Lawn: Good condition	0.12	5266	C	74.0
Area: E201				
Impervious Area: Paved parking lots, roofs, driveways	0.36	15682	C	98.0
Open Space: Lawn: Good condition	0.05	2178	C	74.0
Area: E301				
Impervious Area: Paved parking lots, roofs, driveways	0.08	3595	C	98.0
Open Space: Lawn: Good condition	0.05	1992	C	74.0
<i>Composite East Drainage Area</i>	<i>0.83</i>	<i>36282</i>		<i>91.8</i>
TOTAL	2.46	107173		87.9

SCHOOLYARD LOFTS, 2ND AND CHURCH STREET, TONGANOXIE, KS

TABLE A.3
TIMES OF CONCENTRATION

TR-20 METHODOLOGY

Sub-basin	Overland Flow					Shallow Concentrated Flow					Channel Flow or Pipe Flow					Total Time of Concentration (minutes)‡					
	Tc Method	n	Cover	L (ft)	delta H (ft)	S (ft/ft)	Tol (min)	L (ft)	delta H (ft)	S (ft/ft)	Cover or Pipe	V (ft/s)	Tsc (min)	L (ft)	delta H (ft)		S (ft/ft)	n	R (ft)	V (ft/s)	Tch1 (min)
N1	TR-55	0.24		50	2	0.040	5.76	150	3	0.020	unpaved	2.28	1.10	0	0	1.000	0.013	0.10	24.50	0.00	6.86
W1	TR-55	0.011	Dense Grass	192	1	0.005	3.24	0.01	0.01	1.000	paved	20.33	0.00	0	0	1.000	0.013	0.10	24.50	0.00	3.24
W2	TR-55	0.011	Roof	205	1	0.005	3.51	0.01	0.01	1.000	paved	20.33	0.00	0	0	1.000	0.013	0.10	24.50	0.00	3.51
S1	TR-55	0.24	Dense Grass	90	4	0.044	8.84	0.01	0.01	1.000	unpaved	16.13	0.00	0	0	1.000	0.013	0.10	24.50	0.00	8.84
E1	TR-55	0.011	Roof	125	1	0.008	1.94	0.01	0.01	1.000	paved	20.33	0.00	0	0	1.000	0.013	0.10	24.50	0.00	1.94
Sub-basin	Overland Flow					Shallow Concentrated Flow					Channel Flow or Pipe Flow					Total Time of Concentration (minutes)‡					
	Tc Method	n	Cover	L (ft)	delta H (ft)	S (ft/ft)	Tol (min)	L (ft)	delta H (ft)	S (ft/ft)	Cover or Pipe	V (ft/s)	Tsc (min)	L (ft)	delta H (ft)		S (ft/ft)	n	R (ft)	V (ft/s)	Tch1 (min)
N101	TR-55	0.011	Roof	33	2	0.061	0.30	0.01	0.01	1.000	paved	20.33	0.00	0	0	1.000	0.013	0.10	24.50	0.00	0.30
W101	TR-55	0.24	Dense Grass	50	1	0.020	7.60	80	1.6	0.020	unpaved	2.28	0.58	0	0	1.000	0.013	0.10	24.50	0.00	8.19
W201	TR-55	0.011	Roof	50	4	0.080	0.37	130	4	0.031	paved	3.57	0.61	0	0	1.000	0.013	0.10	24.50	0.00	0.98
W301	TR-55	0.011	Roof	50	4	0.080	0.37	70	2	0.029	paved	3.44	0.34	0	0	1.000	0.013	0.10	24.50	0.00	0.71
W401	TR-55	0.24	Dense Grass	100	6	0.060	8.53	126	5	0.040	unpaved	3.21	0.65	0	0	1.000	0.013	0.10	24.50	0.00	9.18
S101	TR-55	0.24	Dense Grass	100	4.5	0.045	9.57	0.01	0.01	1.000	unpaved	16.13	0.00	0	0	1.000	0.013	0.10	24.50	0.00	9.57
E101	TR-55	0.24	Dense Grass	50	1	0.020	7.60	150	4	0.027	unpaved	2.63	0.95	0	0	1.000	0.013	0.10	24.50	0.00	8.55
E201	TR-55	0.24	Dense Grass	95	2	0.021	12.45	90	3	0.033	paved	3.71	0.40	0	0	1.000	0.013	0.10	24.50	0.00	12.85
E301	TR-55	0.011	Roof	50	1	0.020	0.65	0.01	0.01	1.000	paved	20.33	0.00	0	0	1.000	0.013	0.10	24.50	0.00	0.65

Min. Tc=5 min.

Schoolyard Lofts

Project Summary

Title	Schoolyard Lofts
Engineer	Brian C Lavery, P.E.
Company	Continental
Date	8/14/2019

Notes

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Schoolyard Lofts

Subsection: Master Network Summary

Catchments Summary

Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (min)	Peak Flow (ft ³ /s)
W1	10-yr	10	0.086	84.000	2.56
W1	100-yr	100	0.158	84.000	4.65
W2	10-yr	10	0.149	84.000	4.27
W2	100-yr	100	0.252	84.000	7.07
S1	10-yr	10	0.038	90.000	1.09
S1	100-yr	100	0.079	90.000	2.17
N1	10-yr	10	0.072	87.000	2.12
N1	100-yr	100	0.137	87.000	3.97
E1	10-yr	10	0.156	84.000	4.41
E1	100-yr	100	0.261	84.000	7.24
W101	10-yr	10	0.046	87.000	1.29
W101	100-yr	100	0.086	87.000	2.39
W201	10-yr	10	0.076	84.000	2.21
W201	100-yr	100	0.131	84.000	3.74
W301	10-yr	10	0.025	84.000	0.74
W301	100-yr	100	0.044	84.000	1.28
W401	10-yr	10	0.076	90.000	2.16
W401	100-yr	100	0.163	90.000	4.54
N101	10-yr	10	0.039	84.000	1.16
N101	100-yr	100	0.070	84.000	2.02
E101	10-yr	10	0.052	90.000	1.43
E101	100-yr	100	0.097	87.000	2.64
E201	10-yr	10	0.096	90.000	2.28
E201	100-yr	100	0.163	90.000	3.78
S101	10-yr	10	0.011	90.000	0.31
S101	100-yr	100	0.024	90.000	0.65
E301	10-yr	10	0.024	84.000	0.71
E301	100-yr	100	0.044	84.000	1.31

Node Summary

Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (min)	Peak Flow (ft ³ /s)
West Existing	10-yr	10	0.235	84.000	6.82
West Existing	100-yr	100	0.410	84.000	11.72
Northeast Existing	10-yr	10	0.227	87.000	6.31
Northeast Existing	100-yr	100	0.398	84.000	10.81
West Proposed	10-yr	10	0.223	87.000	6.11
West Proposed	100-yr	100	0.425	87.000	11.52
Northeast Proposed	10-yr	10	0.211	90.000	5.33
Northeast Proposed	100-yr	100	0.374	87.000	9.29
South Existing	10-yr	10	0.038	90.000	1.09

Schoolyard Lofts

Subsection: Master Network Summary

Node Summary

Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (min)	Peak Flow (ft ³ /s)
South Existing	100-yr	100	0.079	90.000	2.17
South Proposed	10-yr	10	0.011	90.000	0.31
South Proposed	100-yr	100	0.024	90.000	0.65

Schoolyard Lofts

Subsection: Time-Depth Curve
 Label: Type II 3 Hr Tonganoxie - Atlas 14
 Scenario: 10-yr

Return Event: 10 years
 Storm Event: Type II, 3 hr - 10 yr

Time-Depth Curve: Type II, 3 hr - 10 yr	
Label	Type II, 3 hr - 10 yr
Start Time	0.000 min
Increment	6.000 min
End Time	180.000 min
Return Event	10 years

CUMULATIVE RAINFALL (in)
Output Time Increment = 6.000 min
Time on left represents time for first value in each row.

Time (min)	Depth (in)				
0.000	0.0	0.0	0.1	0.1	0.1
30.000	0.2	0.2	0.3	0.3	0.4
60.000	0.5	0.6	0.9	1.3	2.1
90.000	2.6	2.7	2.8	2.9	2.9
120.000	3.0	3.1	3.1	3.1	3.2
150.000	3.2	3.2	3.3	3.3	3.3
180.000	3.4	(N/A)	(N/A)	(N/A)	(N/A)

Schoolyard Lofts

Subsection: Time-Depth Curve

Label: Type II 3 Hr Tonganoxie - Atlas 14

Scenario: 100-yr

Return Event: 100 years

Storm Event: Type II, 3 hr - 100 yr

Time-Depth Curve: Type II, 3 hr - 100 yr	
Label	Type II, 3 hr - 100 yr
Start Time	0.000 min
Increment	6.000 min
End Time	180.000 min
Return Event	100 years

CUMULATIVE RAINFALL (in)

Output Time Increment = 6.000 min

Time on left represents time for first value in each row.

Time (min)	Depth (in)	Depth (in)	Depth (in)	Depth (in)	Depth (in)
0.000	0.0	0.1	0.1	0.2	0.2
30.000	0.3	0.4	0.4	0.5	0.6
60.000	0.7	0.9	1.4	2.0	3.3
90.000	4.1	4.3	4.5	4.6	4.7
120.000	4.8	4.9	4.9	5.0	5.1
150.000	5.1	5.2	5.2	5.3	5.3
180.000	5.4	(N/A)	(N/A)	(N/A)	(N/A)

Schoolyard Lofts

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Type II 3 Hr Tonganoxie - Atlas 14 (Time-Depth Curve, 100 years (100-yr))...5



NOAA Atlas 14, Volume 8, Version 2
Location name: Tonganoxie, Kansas, USA*
Latitude: 39.1105°, Longitude: -95.0909°
Elevation: 900.26 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

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PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.395 (0.306-0.505)	0.469 (0.363-0.599)	0.591 (0.456-0.756)	0.694 (0.532-0.890)	0.838 (0.623-1.10)	0.951 (0.692-1.25)	1.07 (0.751-1.42)	1.18 (0.802-1.60)	1.34 (0.877-1.85)	1.47 (0.934-2.03)
10-min	0.579 (0.448-0.739)	0.687 (0.531-0.877)	0.866 (0.667-1.11)	1.02 (0.779-1.30)	1.23 (0.912-1.61)	1.39 (1.01-1.83)	1.56 (1.10-2.08)	1.73 (1.18-2.35)	1.97 (1.29-2.71)	2.15 (1.37-2.98)
15-min	0.706 (0.547-0.901)	0.838 (0.648-1.07)	1.06 (0.814-1.35)	1.24 (0.950-1.59)	1.50 (1.11-1.96)	1.70 (1.24-2.24)	1.90 (1.34-2.54)	2.12 (1.43-2.86)	2.40 (1.57-3.30)	2.62 (1.67-3.63)
30-min	1.00 (0.777-1.28)	1.20 (0.924-1.53)	1.51 (1.17-1.93)	1.78 (1.36-2.28)	2.15 (1.60-2.82)	2.45 (1.78-3.22)	2.75 (1.93-3.67)	3.05 (2.07-4.14)	3.47 (2.26-4.77)	3.78 (2.41-5.25)
60-min	1.32 (1.02-1.68)	1.57 (1.22-2.01)	2.01 (1.55-2.57)	2.37 (1.82-3.04)	2.89 (2.15-3.79)	3.30 (2.40-4.35)	3.72 (2.62-4.97)	4.15 (2.81-5.63)	4.73 (3.10-6.52)	5.19 (3.31-7.20)
2-hr	1.63 (1.27-2.06)	1.95 (1.53-2.47)	2.50 (1.95-3.17)	2.97 (2.30-3.77)	3.63 (2.73-4.71)	4.15 (3.06-5.43)	4.69 (3.34-6.21)	5.25 (3.60-7.06)	6.00 (3.97-8.20)	6.59 (4.25-9.07)
3-hr	1.83 (1.44-2.30)	2.20 (1.73-2.77)	2.82 (2.21-3.56)	3.36 (2.62-4.24)	4.12 (3.12-5.33)	4.73 (3.50-6.15)	5.35 (3.84-7.06)	6.01 (4.15-8.05)	6.90 (4.59-9.39)	7.59 (4.93-10.4)
6-hr	2.19 (1.75-2.73)	2.63 (2.09-3.28)	3.38 (2.68-4.21)	4.02 (3.17-5.03)	4.94 (3.79-6.35)	5.68 (4.26-7.34)	6.45 (4.69-8.45)	7.26 (5.07-9.65)	8.37 (5.64-11.3)	9.24 (6.07-12.6)
12-hr	2.59 (2.08-3.19)	3.08 (2.47-3.80)	3.92 (3.14-4.84)	4.65 (3.70-5.76)	5.70 (4.42-7.26)	6.55 (4.97-8.39)	7.43 (5.46-9.65)	8.37 (5.92-11.0)	9.65 (6.58-12.9)	10.7 (7.08-14.4)
24-hr	3.01 (2.44-3.67)	3.54 (2.88-4.33)	4.46 (3.61-5.46)	5.25 (4.23-6.45)	6.40 (5.02-8.06)	7.32 (5.62-9.28)	8.28 (6.16-10.7)	9.29 (6.65-12.2)	10.7 (7.38-14.2)	11.8 (7.93-15.8)
2-day	3.46 (2.85-4.19)	4.03 (3.32-4.89)	5.00 (4.10-6.07)	5.84 (4.76-7.10)	7.04 (5.59-8.79)	8.01 (6.21-10.1)	9.01 (6.78-11.5)	10.1 (7.28-13.0)	11.5 (8.03-15.2)	12.6 (8.60-16.8)
3-day	3.78 (3.14-4.55)	4.36 (3.61-5.26)	5.35 (4.41-6.45)	6.20 (5.09-7.50)	7.43 (5.94-9.21)	8.42 (6.58-10.5)	9.44 (7.15-12.0)	10.5 (7.66-13.6)	12.0 (8.43-15.7)	13.2 (9.01-17.4)
4-day	4.07 (3.39-4.88)	4.66 (3.87-5.59)	5.66 (4.70-6.81)	6.53 (5.39-7.87)	7.78 (6.25-9.61)	8.79 (6.90-10.9)	9.83 (7.48-12.4)	10.9 (8.00-14.0)	12.4 (8.79-16.2)	13.6 (9.38-17.9)
7-day	4.84 (4.07-5.76)	5.49 (4.61-6.54)	6.60 (5.52-7.86)	7.54 (6.28-9.01)	8.89 (7.20-10.9)	9.97 (7.90-12.3)	11.1 (8.50-13.9)	12.2 (9.04-15.6)	13.8 (9.85-17.9)	15.1 (10.5-19.7)
10-day	5.51 (4.65-6.52)	6.25 (5.28-7.40)	7.49 (6.30-8.88)	8.54 (7.15-10.2)	10.0 (8.16-12.2)	11.2 (8.93-13.7)	12.4 (9.58-15.4)	13.7 (10.1-17.3)	15.3 (11.0-19.8)	16.7 (11.7-21.6)
20-day	7.34 (6.27-8.59)	8.38 (7.16-9.82)	10.1 (8.60-11.9)	11.5 (9.76-13.6)	13.5 (11.1-16.2)	15.0 (12.1-18.2)	16.5 (12.9-20.3)	18.0 (13.6-22.6)	20.1 (14.6-25.6)	21.6 (15.3-27.9)
30-day	8.90 (7.66-10.4)	10.2 (8.75-11.9)	12.2 (10.5-14.3)	13.9 (11.9-16.3)	16.2 (13.4-19.3)	17.9 (14.5-21.5)	19.6 (15.4-23.9)	21.3 (16.1-26.4)	23.4 (17.1-29.7)	25.1 (17.9-32.1)
45-day	11.0 (9.51-12.7)	12.5 (10.8-14.5)	14.9 (12.9-17.3)	16.8 (14.4-19.5)	19.3 (16.0-22.8)	21.2 (17.2-25.2)	22.9 (18.1-27.8)	24.6 (18.7-30.4)	26.8 (19.6-33.6)	28.3 (20.3-36.1)
60-day	12.8 (11.1-14.8)	14.5 (12.6-16.7)	17.1 (14.8-19.8)	19.1 (16.5-22.2)	21.8 (18.1-25.5)	23.6 (19.3-28.0)	25.4 (20.1-30.5)	27.0 (20.6-33.1)	28.9 (21.3-36.1)	30.2 (21.8-38.4)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

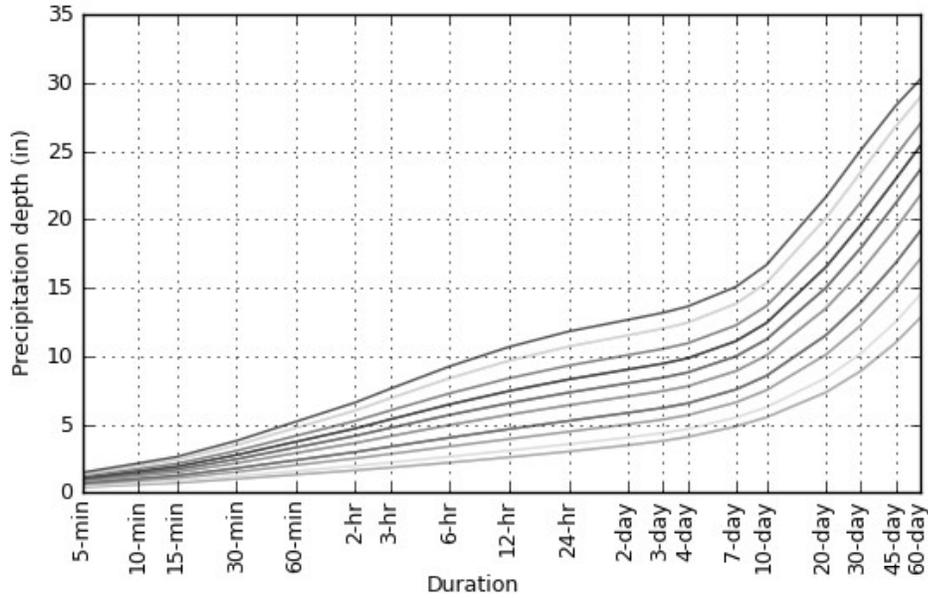
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

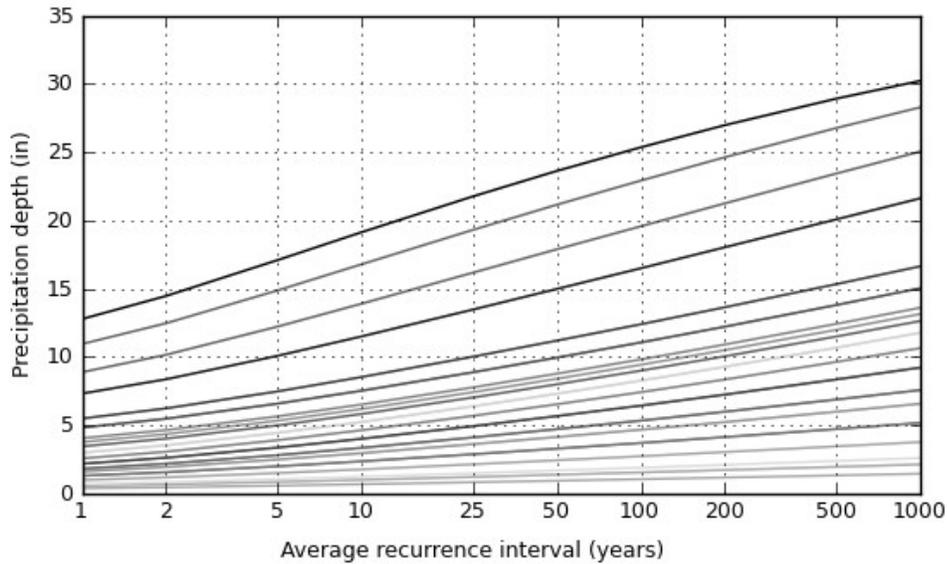
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PF graphical

PDS-based depth-duration-frequency (DDF) curves
Latitude: 39.1105°, Longitude: -95.0909°



Average recurrence interval (years)
1
2
5
10
25
50
100
200
500
1000

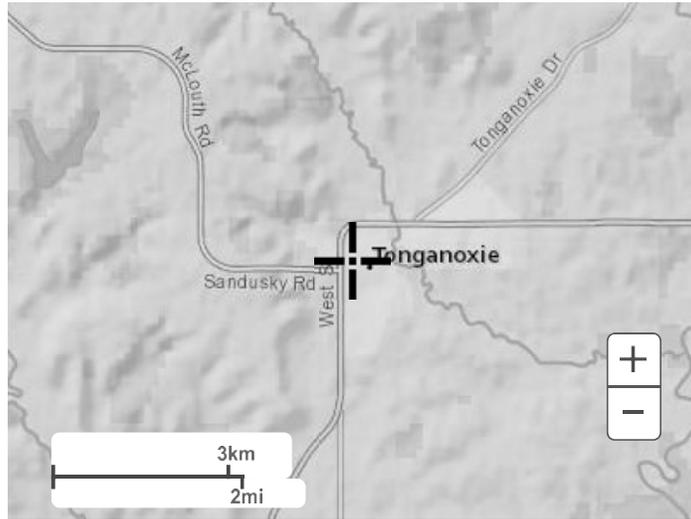


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10-min	3-day
15-min	4-day
30-min	7-day
60-min	10-day
2-hr	20-day
3-hr	30-day
6-hr	45-day
12-hr	60-day
24-hr	

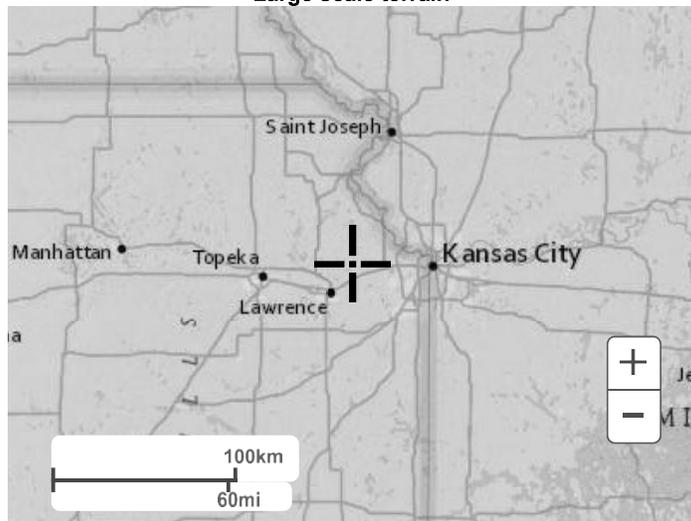
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Maps & aerials

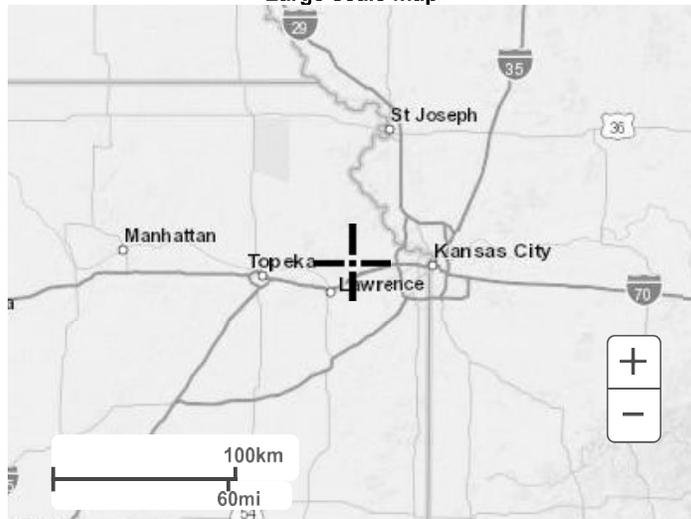
Small scale terrain



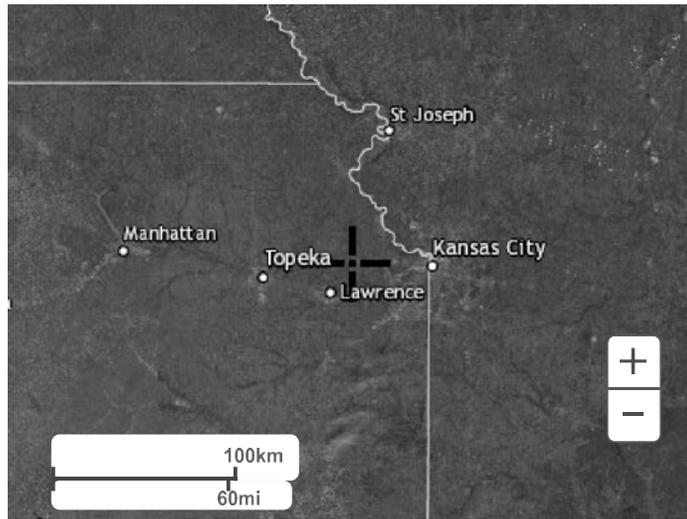
Large scale terrain



Large scale map



Large scale aerial



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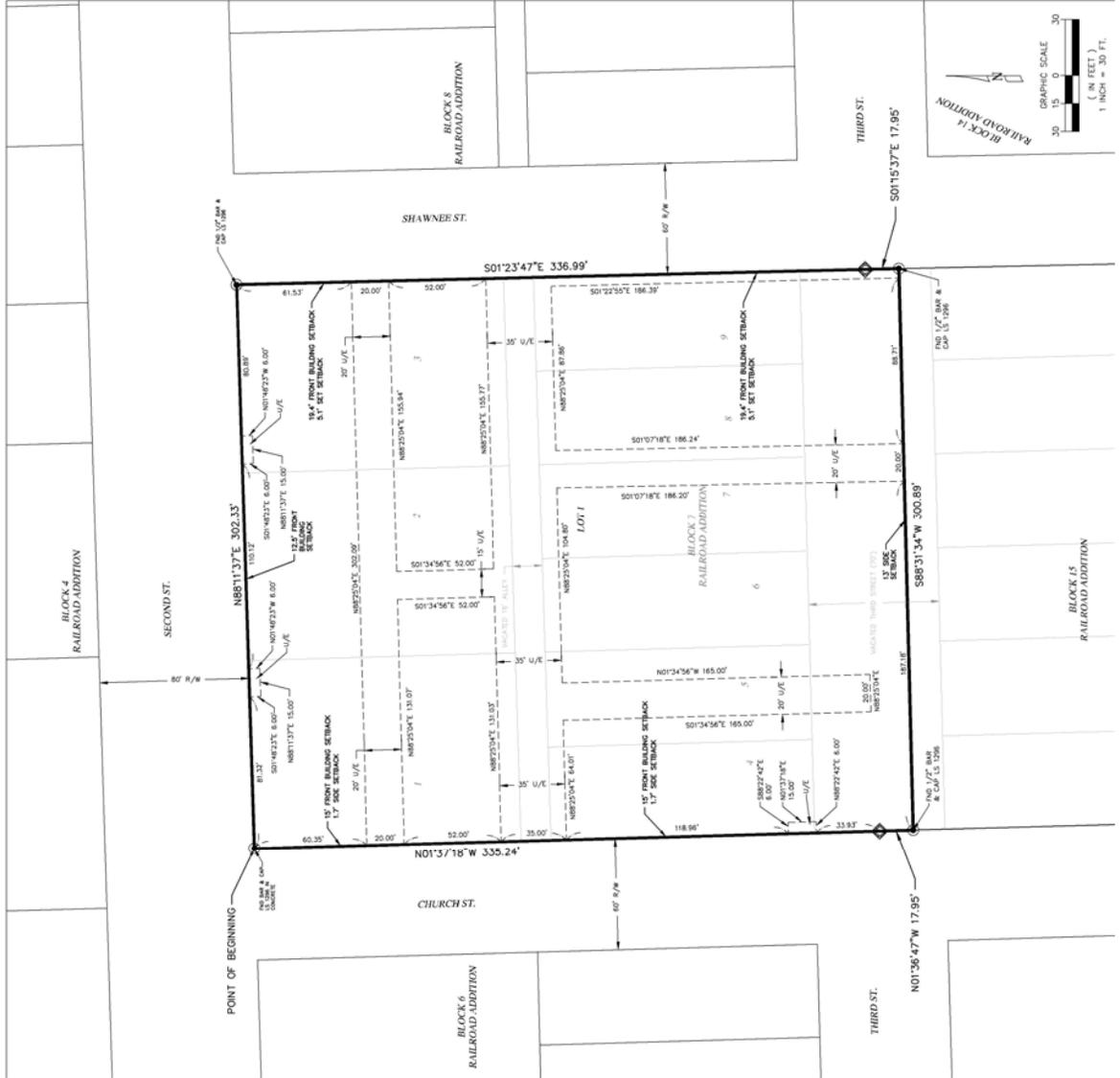
[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

FINAL PLAT

SCHOOL YARD LOFTS

**A REPLAT OF BLOCK 7 RAILROAD ADDITION AND PART OF VACATED THIRD STREET,
A SUBDIVISION IN THE CITY OF TONGANOXIE, LEAVENWORTH COUNTY, KANSAS**



BOUNDARY DESCRIPTION

All of Lots 1 through 9, Block 7, and all that part of vacated Third Street, all being part of Railroad Addition to the City of Tonganoxie, and lying within the Northwest Quarter of Section 9, said Lot 1, Block 7, Railroad Addition, thence North 88 degrees 11 minutes 37 seconds East, with the north line of Lots 1 through 9, Block 7, and the north right-of-way line of Second Street, a distance of 150.00 feet, to the northeast corner of the subject property; thence North 88 degrees 11 minutes 37 seconds East, with the north line of Lots 1 through 9, Block 7, and its westerly prolongation, and the west right-of-way line of Second Street, a distance of 336.99 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east line of Lots 1 through 9, Block 7, and its westerly prolongation, and the west right-of-way line of Second Street, a distance of 17.95 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east right-of-way line of Church Street, a distance of 17.95 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east right-of-way line of Church Street, a distance of 17.95 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east right-of-way line of Church Street, a distance of 17.95 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east right-of-way line of Church Street, a distance of 17.95 feet, to the northeast corner of the subject property; thence North 01 degree 23 minutes 47 seconds East, with the east right-of-way line of Church Street, a distance of 17.95 feet, to the northeast corner of the subject property.

SURVEYOR'S REPORT

- This basis of bearing for this survey is Kansas State Plane, North Zone, North American Datum, 1983.
- The easements shown on this survey have been taken from the title commitment NC5-965704-QM4, dated June 14, 2019, provided by First American Title Company of Kansas.
- A 1/2" x 24" rebar with a plastic cap marked CDD 1331 has been set at all property corners, unless otherwise noted.
- The subject property lies in Zone K - Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 2010X030302, effective July 16, 2015.
- The gross land area of the subject property is 106,977 square feet, or 2.46 acres.
- The error of closure is 1.262247'. The angular and distance error is 544'0000" = 0.005'.

DEDICATION

The undersigned, proprietors of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat which hereafter shall be known as "Schoolyard Lots."

The Streets, Drives, Terraces and other ways shown hereon and not heretofore dedicated to the public are hereby so dedicated. An EASEMENT is hereby granted all public utility companies, their successors or assigns or rural water districts duly incorporated and authorized to do business in Leavenworth County, Kansas, to enter upon, use and occupy any area outlined and designated on this plat as "Utility Easement" or "Water and Drainage Easement" or "7' or 7'0" for purposes of utility installations and maintenance, and to install, use and occupy any area outlined and designated on this plat as "Utility Easement" or "Water and Drainage Easement" or "7' or 7'0" for purposes of utility installations and maintenance, and to perform on said easement with the exception of roads, roads and sidewalks areas. These areas within the Utility Easement that are not paved, curbed or sidewalks shall be restored to their original condition by the user in the event of any maintenance.

There will be no restrictions other than those shown hereon.

OWNER'S CERTIFICATE: I, the undersigned, being the owner of the land described in the plat, and that all previous taxes have been paid, and that they have caused the same to be surveyed and subdivided as indicated thereon, for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the title and file thereon indicated. Given under my hand at Tonganoxie, Kansas this _____ day of _____ A.D. 2019.

John Search, Managing Member
Schoolyard Townhomes, LLC

NOTARY CERTIFICATE:

I, _____, Notary Public for the County of Leavenworth, Kansas, do hereby certify that the foregoing instrument of writing and day acknowledged the execution of same, in testimony whereof, I have hereunto set my hand and official seal at Tonganoxie, Kansas, this _____ day of _____ A.D. 2019.

Notary Public

My Commission Expires: _____ day of _____ A.D. 2019.
Zach Stalder, Secretary

CITY COUNCIL APPROVAL:
The easements and rights-of-way accepted by the governing body of Tonganoxie, Kansas, this _____ day of _____ A.D. 2019.

John Berg, Mayor
ATTEST: Nathan McComben, City Clerk

CITY ENGINEER APPROVAL:
The City Engineer's review is only for general conformance with the Subdivision Regulations as adopted by the City of Tonganoxie. The City is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

Blake Kingery, City Engineer
COUNTY SURVEYOR'S CERTIFICATE:
This plat complies with the requirements of K.S.A. 8a-2005. The date of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is required. This review is for survey information only.

Reyes Malouin, Leavenworth County Surveyor
REGISTER OF DEEDS CERTIFICATE:
Plat of Schoolyard Lots of Tonganoxie was filed for record this _____ day of _____ A.D., 2019, at _____ M., and duly recorded as Document No. _____.

Stacy Driscoll, Register of Deeds, Leavenworth Co, Kansas
SURVEYOR'S CERTIFICATE:
I, Samuel J. DePirent, a Professional Surveyor in the State of Kansas, License Number 1531, do hereby certify that the survey shown hereon was completed in the field in August 2019, by me and my assistants, and that the same is a true and accurate exhibit of said field survey, based on actual field measurements, using the instruments and methods of the profession and accuracy the positions indicated.



SYMBOL LEGEND:
● Found property corner as noted
○ Found corner as noted

GRAPHIC SCALE
(IN FEET)
1 INCH = 30 FT.

SITE LOCATION MAP
10/16/2019

SURVEYOR ENGINEER:
SAMUEL J. DEPIRENT
Professional Surveyor, License No. 1531
1125 Grand Ave., Suite 202
Leavenworth, KS 66428
Phone: 785.842.1125
John Search Managing Member
Block 7 Schoolyard Townhomes, LLC



PRAIRIE FIRE DEVELOPMENT GROUP

SCHOOLYARD LOFTS

Tonganoxie, KS



ARCHITECT
 201 E. 93RD STREET
 KANSAS CITY, MISSOURI 64110
 816.451.1000
 kansas@odimo.com

CIVIL ENGINEER
 1108 PARALLEL HWY
 WYANDOTT, KS 66201
 816.262.2442
 H@odimogroup.com

STRUCTURAL ENGINEERING
 ATTN: PAUL SUTTA, PE
 2000 W. 10TH STREET
 KANSAS CITY, MO 64108
 paul@steepleeng.com

Date	Description

Issue
FINAL DEVELOPMENT PLAN
 25 October, 2019

Seal Signature

NOT FOR CONSTRUCTION

Description

Site Plan

C2.0

6/20/19 odimo

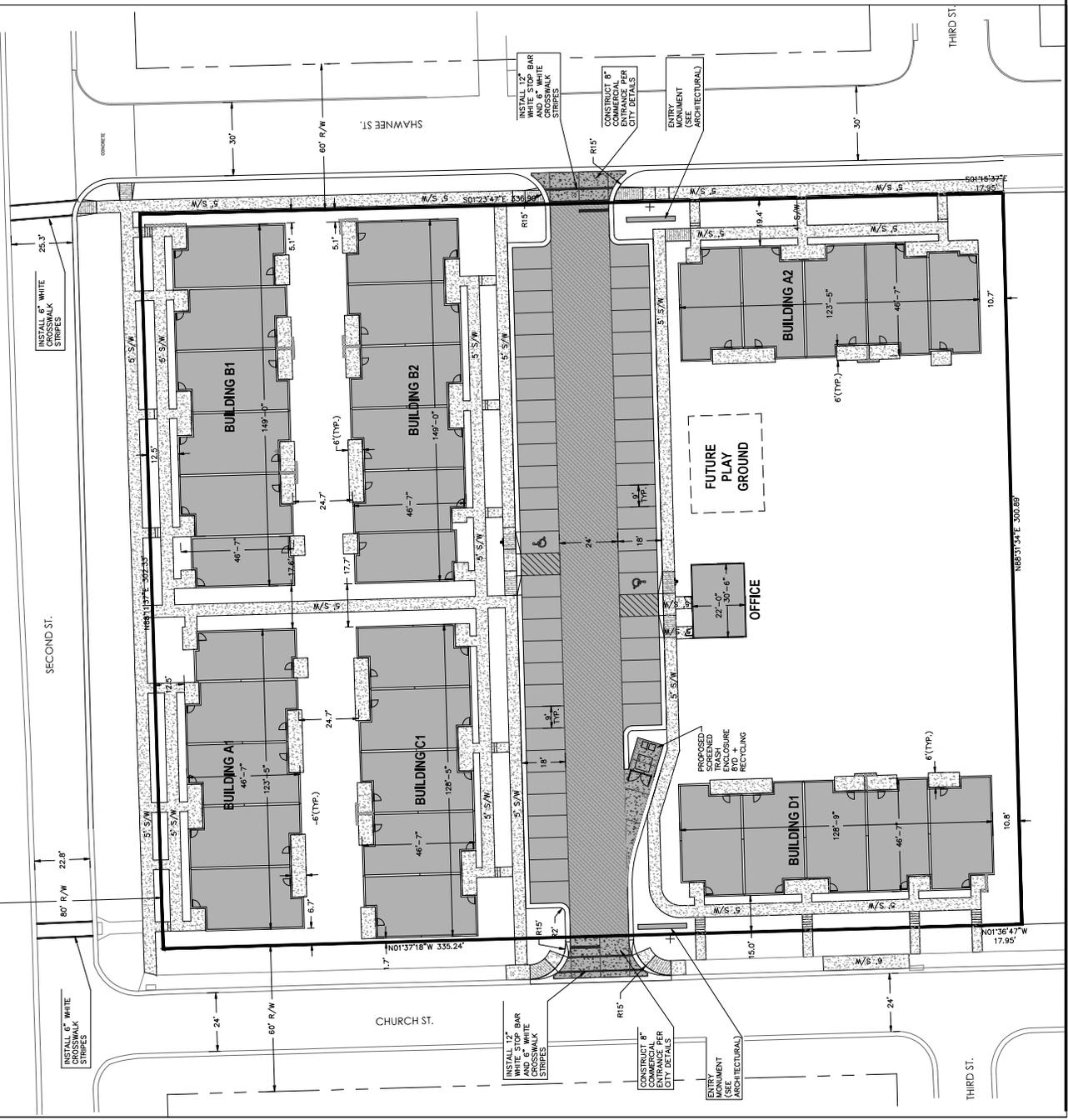
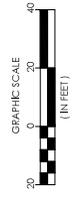
- LEGEND**
- 6" STANDARD DUTY ASPHALT
 - 8" HEAVY DUTY ASPHALT
 - 8" CONCRETE
 - 4" CONCRETE SIDEWALK/PATIO

PROPOSED ZONING R-MF-2P
 (PLANNED MULTIPLE FAMILY 2 DISTRICT)

EXCEPTIONS TO BASE ZONING FOR FRONT, SIDE AND REAR YARD SETBACKS, INCLUDING PARKING ALONG 2ND STREET IN TOTAL.

DWELLING UNITS: 32 EA
 OFFICE: 3
 TOTAL REQUIRED: 51
 TOTAL PROVIDED ONSITE: 51

PARKING REQ'D: 1,500 SF
 OFFICE: 1,200 SF
 TOTAL PROVIDED ONSITE: 51



PRAIRIE FIRE DEVELOPMENT GROUP SCHOOLYARD LOFTS

Tonganoxie, KS



ARCHITECT
 ODI MO ARCHITECTS, LLC
 201 E. 93RD STREET
 KANSAS CITY, MISSOURI 64110
 816.451.1111
 oadimo@odimo.us

CVL ENGINEER
 ODI MO ARCHITECTS, LLC
 201 E. 93RD STREET
 KANSAS CITY, MISSOURI 64110
 816.451.1111
 h@odimoengineers.com

STRUCTURAL ENGINEERING
 ATTN: PAUL W. PE
 11000 PAUL L. HWY
 OVERLAND PARK, KS 66219
 913.242.2424
 h@odimoengineers.com

△	Date	Description
---	------	-------------

FINAL DEVELOPMENT PLAN
 25 October, 2019

Seal Signature

NOT FOR CONSTRUCTION



Description

Landscape Plan

L1.0

©2019 odimo

Landscape Legend

- Cercaria sibirica (Northern Red Oak), 2" Caliper, BBB
- Taxodium distichum (Bald Cypress), 2" Caliper, BBB
- Cercaria toledo (Swamp White Oak), 2" Caliper, BBB
- Cercaria robusta (English Oak), 2" Caliper, BBB
- Magnolia virginiana (Sweetbay Magnolia), Min. 1 1/2" H, BBB
- Araliacae (various plants like Maidenhair Tree, etc.), Min. 7" H, 16 Gal. Container
- Taxus (various species like Heals Yew, etc.), 5 Gal. Container or BBB
- Spiraea (various species like Snowdrop Spiraea, etc.), 5 Gal. Container
- Juniperus (various species like Sea Green, etc.), 3 Gal. Container
- Ilex (various species like Sweetgum, etc.), 3 Gal. Container
- Calceolaria (various species like Yellow Flower, etc.), 3 Gal. Container
- Syringa (various species like Magnolia, etc.), 3 Gal. Container
- Eucalyptus (various species like Darter, etc.), 3 Gal. Container or BBB
- Ilex (various species like Dogwood, etc.), 5 Gal. Container or BBB

NOTES:

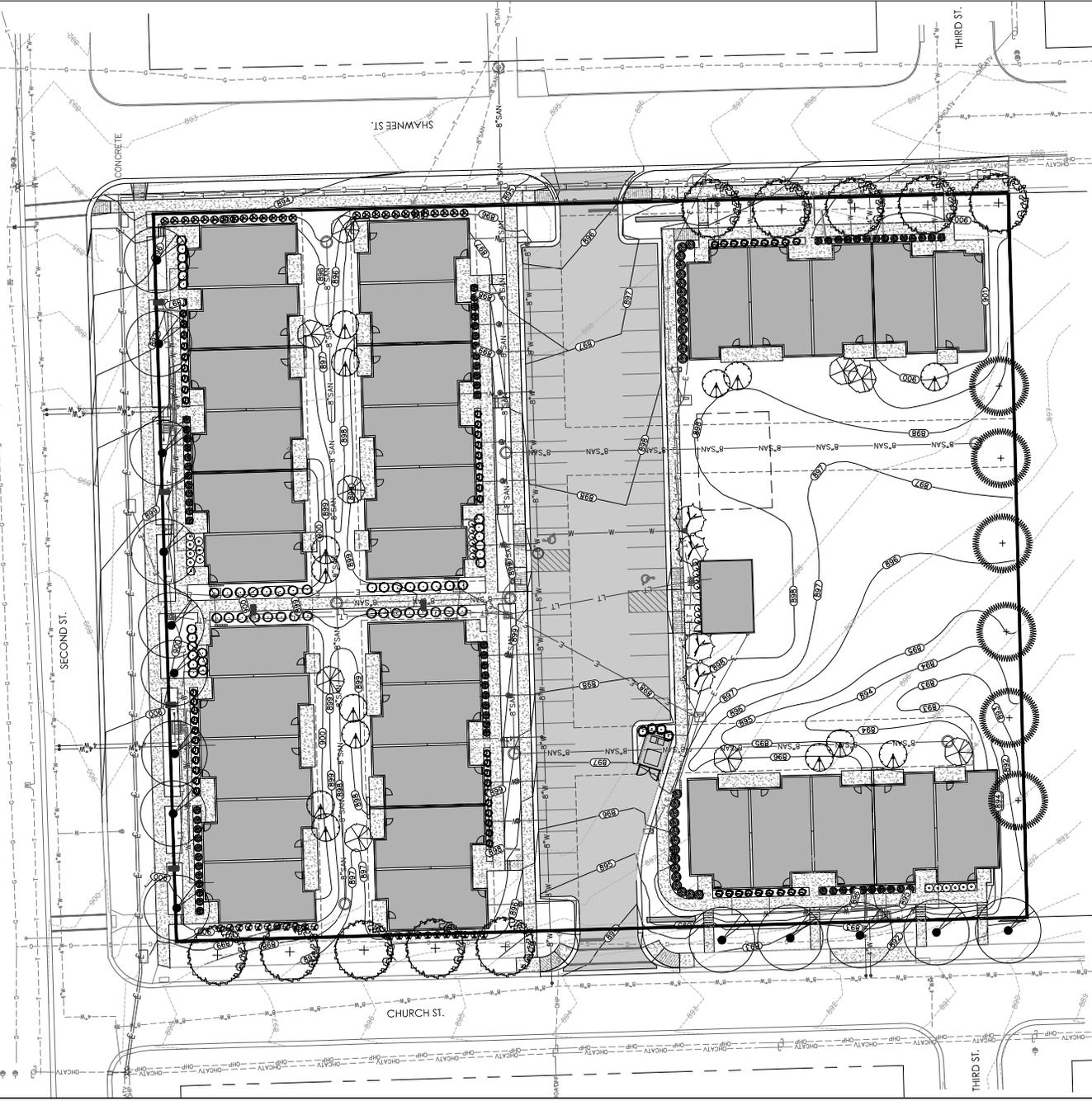
- ALL PLANTS MUST BE HEALTHY, WOODRICK MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS AND AFTER INSTALLATION OR STAKES AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED, SEEDS OR SOCCED AS SPECIFIED.
- ALL PLANTING AREAS MUST BE PROTECTED FROM ALL TYPES OF DAMAGE TO THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO THE LANDSCAPE CONSTRUCTION, APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONTRACTOR'S RESPONSIBILITY FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING INCLUDING BUT NOT LIMITED TO WATERING, FERTILIZING, AND WEEDING (E.T.C.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL PLANTS MUST BE REPLACED WITHIN 90 DAYS OF THE ORIGINAL PLANTING DATE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE ONE YEAR PERIOD.
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PLANTING NOTES:

- REMOVE BURLAP AT THE TOP 10% OF THE BAR ROOTBALL TO EXPOSE THE ROOT FLARE (THE ENLARGED OR SWOLLEN AREA WHERE THE LARGE LATERAL ROOTS EMERGE) AND BALL WITH THE PLANTING HOLE SHALL NOT BE GREATER THAN THE BOTTOM OF THE ROOT BALL. DO NOT REMOVE THE ACTUAL ROOT FLARE TO THE BOTTOM OF THE ROOT BALL. DO NOT REMOVE THE ACTUAL ROOT FLARE TO THE BOTTOM OF THE ROOT BALL. DO NOT REMOVE THE ACTUAL ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
- ALL WIRE, TRIM AND CANVAS MATERIAL OR SYNTHETIC SHALL BE REMOVED FROM THE TOP 10% OF THE ROOTBALL. ALL WIRE, TRIM AND CANVAS MATERIAL OR SYNTHETIC SHALL BE REMOVED FROM THE TOP 10% OF THE ROOTBALL.
- ALL PLANTS MUST BE WATERED AND MULCHED. MULCH SHALL BE 2 INCHES DEEP, EXTENDING TO ZERO NEAR THE TRUNK. A MULCH BERM SHALL BE USED TO CREATE A WATERING RIT.

811
 Know what's below. Call before you dig.

GRAPHIC SCALE
 0 20 40
 (IN FEET)





PUBLIC SANITARY SEWER EXTENSION
 Leavenworth County, Tonganoxie, Kansas
Schoolyard Lofts

FOR CONSTRUCTION
 REVISIONS
 NO. ISSUED DATE. NOTES/COMMENTS.



PROJECT NO: 1906-19
 DATE: October 25, 2019
 DRAWN BY: DSB
 SHEET TITLE
**GENERAL LAYOUT/
 SURVEY CONTROL**

S2.0
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SURVEY CONTROL POINTS
 THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION LAYOUT, SETTING, AND PLACEMENT OF SURVEY CONTROL POINTS FOR THIS PROJECT PROVIDED BY CONTINENTAL CONSULTING ENGINEERS, INC.

TBM #1:
 IRON BAR, "I.S. NO. 1296" 17' EAST OF CHURCH STREET (EAST CURB) AND 27' SOUTH OF SECOND STREET (SOUTH CURB).
 N 296545.72 E 2137509.55
 ELEV. = 899.13

TBM #2:
 IRON BAR, "CECI CONTROL POINT"
 LOCATED APPROXIMATELY 113' WEST OF SHAWNEE STREET (EAST CURB) AND 11' SOUTH OF SECOND STREET (SOUTH CURB).
 N 296495.48 E 2137714.34
 ELEV. = 898.97

TBM #3:
 IRON BAR, "I.S. NO. 1296"
 LOCATED 15' WEST OF SHAWNEE STREET (WEST CURB) AND 4' SOUTH OF THIRD STREET (SOUTH CURB).
 N 296197.30 E 2137820.59
 ELEV. = 900.00

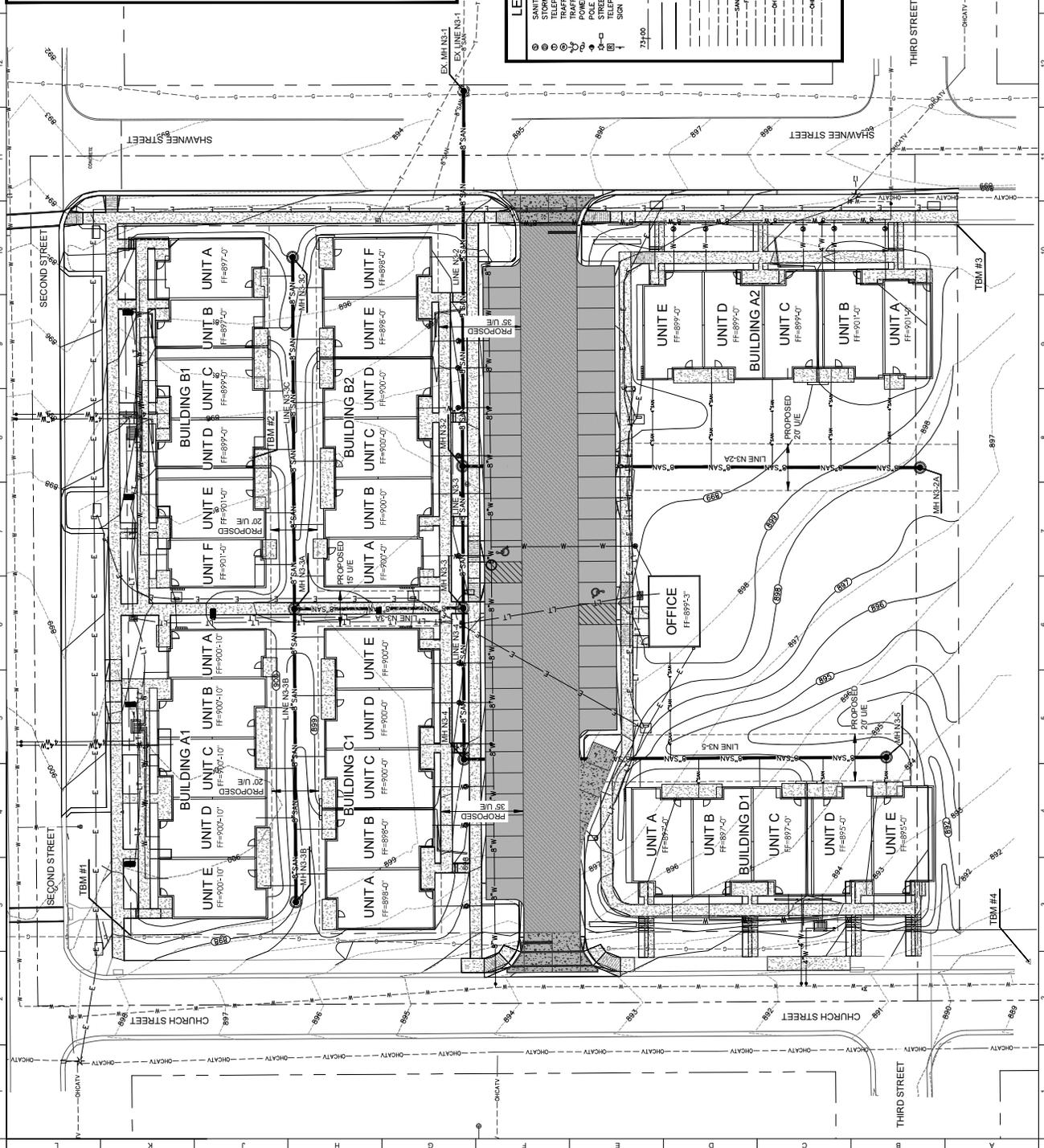
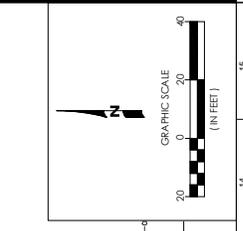
TBM #4:
 CHISEL "I.S. IN SIDEWALK"
 LOCATED APPROXIMATELY 3' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF SOUTH CURB).
 N 296150.99 E 2137507.05
 ELEV. = 899.04

GRID COORDINATE SYSTEM
 KANSAS STATE PLANE NORTH FIPS FEET NAD83
 HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988

LEGEND AND ABBREVIATIONS

⊙	SANITARY SEWER MANHOLE	⊙	WATER METER
⊙	STORM SEWER MANHOLE	⊙	WATER VALVE
⊙	TRAFFIC SIGNAL MANHOLE	⊙	GAS METER
⊙	POWERY/TELEPHONE POLE	⊙	GAS VALVE
⊙	POLE ANCHOR	⊙	REIN. REDUCE
⊙	TELEPHONE RISER	⊙	MAJORITY
⊙	SIGN	⊙	DECIDUOUS TREE
⊙		⊙	CONIFEROUS TREE

---	744.00	SURVEY BASE OR CENTER LINES
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY
---	---	EXIST. INTERMEDIATE CONTOURS
---	---	EXIST. UNDERGROUND WATER MAIN SIZE
---	---	EXIST. SANITARY SEWER SIZE & TYPE
---	---	EXIST. UNDERGROUND FIBER OPTIC
---	---	EXIST. OVERHEAD FIBER OPTIC
---	---	EXIST. UNDERGROUND TELEPHONE LINE
---	---	EXIST. OVERHEAD TELEPHONE LINE
---	---	EXIST. UNDERGROUND ELECTRICAL LINE
---	---	EXIST. OVERHEAD ELECTRICAL LINE
---	---	EXIST. FENCE LINE





PUBLIC SANITARY SEWER EXTENSION
 Leavenworth County, Tonganoxie, Kansas
Schoolyard Loftis

FOR CONSTRUCTION
 REVISIONS
 No. _____ Date: _____ Notes/Comments: _____

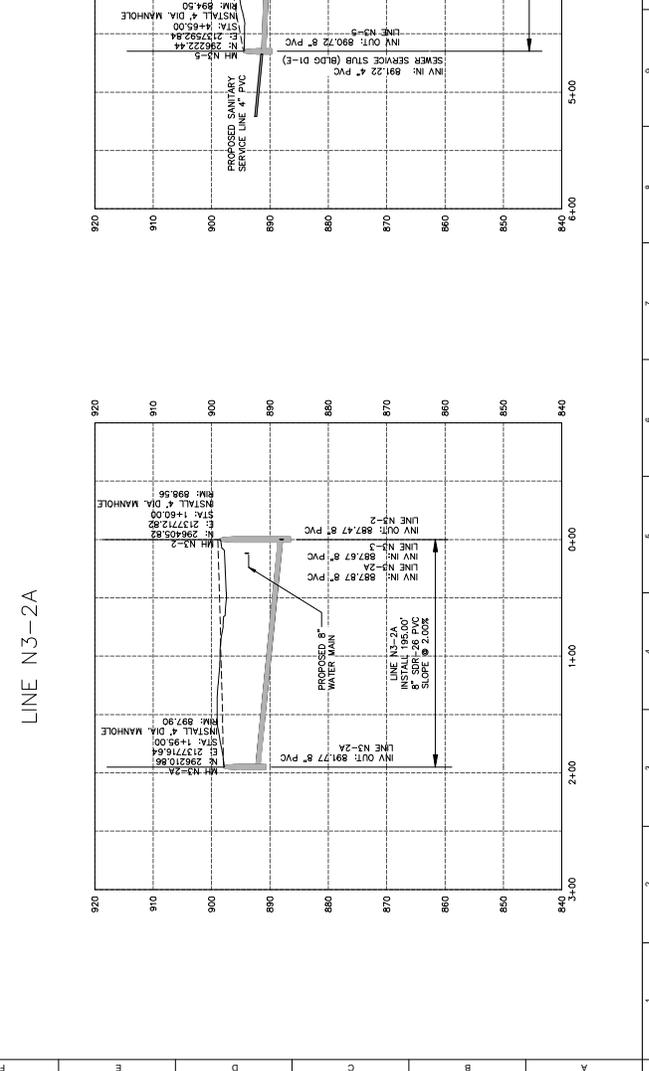
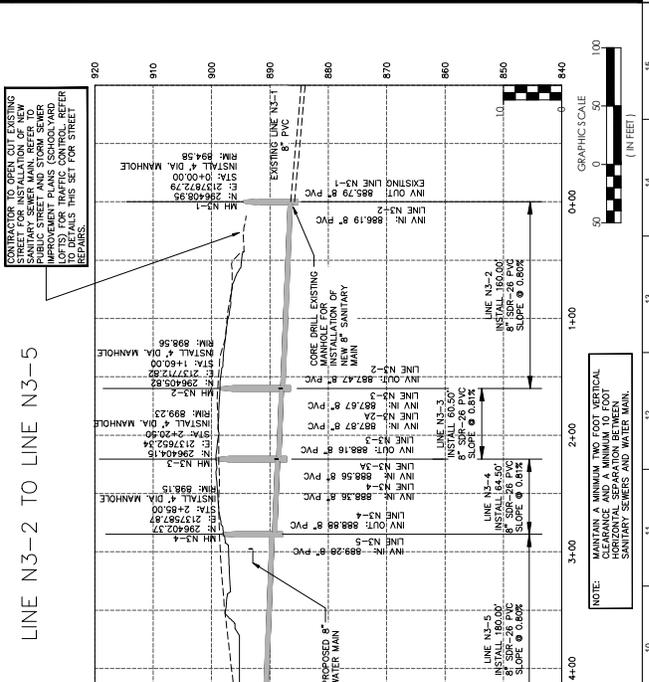
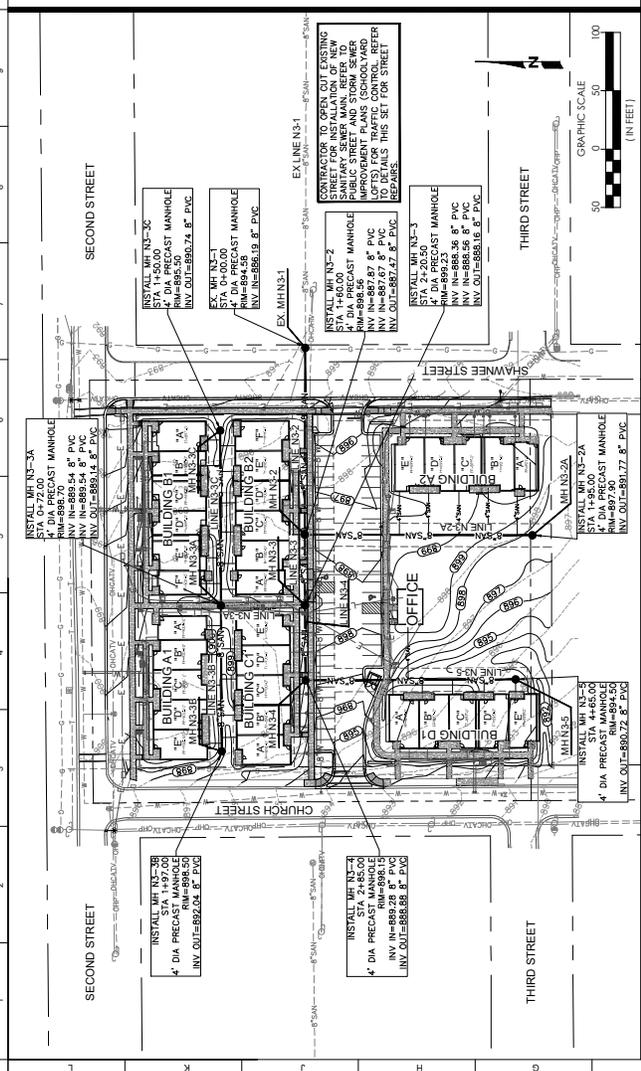


PROJECT NO: 1906-19
 DATE: October 25, 2019
 DRAWN BY: DSB
 SHEET TITLE: PLAN AND PROFILE
 SHEET NO. 3 of 7

S3.0
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SEWER SERVICE LINE INFORMATION

BUILDING	UNIT SERVED	SANITARY SERVICE LINE CONNECTION	LINE NUMBER	STA.	F.F.B.	M&HE	STUB LENGTH (ft)	END OF STUB FL ELEVATION
A2	A	8" x 4" Tee	N3-2A	1482.00	901.00	896.67	35	896.93
	B	8" x 4" Tee	N3-2A	1457.00	901.00	896.67	38	896.92
	C	8" x 4" Tee	N3-2A	1432.00	899.00	896.67	33	895.01
	D	8" x 4" Tee	N3-2A	1406.00	899.00	896.67	37	895.01
	E	8" x 4" Tee	N3-2A	041.00	899.00	896.67	32	894.86
D1	A	8" x 4" Tee	N3-5	3460.00	897.00	894.67	7	892.61
	B	8" x 4" Tee	N3-5	3485.00	897.00	894.67	12	892.94
	C	8" x 4" Tee	N3-5	4411.00	897.00	894.67	7	892.78
	D	8" x 4" Tee	N3-5	4438.00	895.00	892.67	12	892.24
	E	Manhole Stub	N3-5	4465.00	895.00	892.67	12	891.46
Office		8" x 4" Tee	N3-5	3473.00	899.25	896.92	40	895.24





PUBLIC SANITARY SEWER EXTENSION
 Leavenworth County, Tonganoxie, Kansas
Schoolyard Lofts

FOR CONSTRUCTION

REVISIONS
 NO. _____ ISSUED DATE: _____ NOTES/COMMENTS: _____



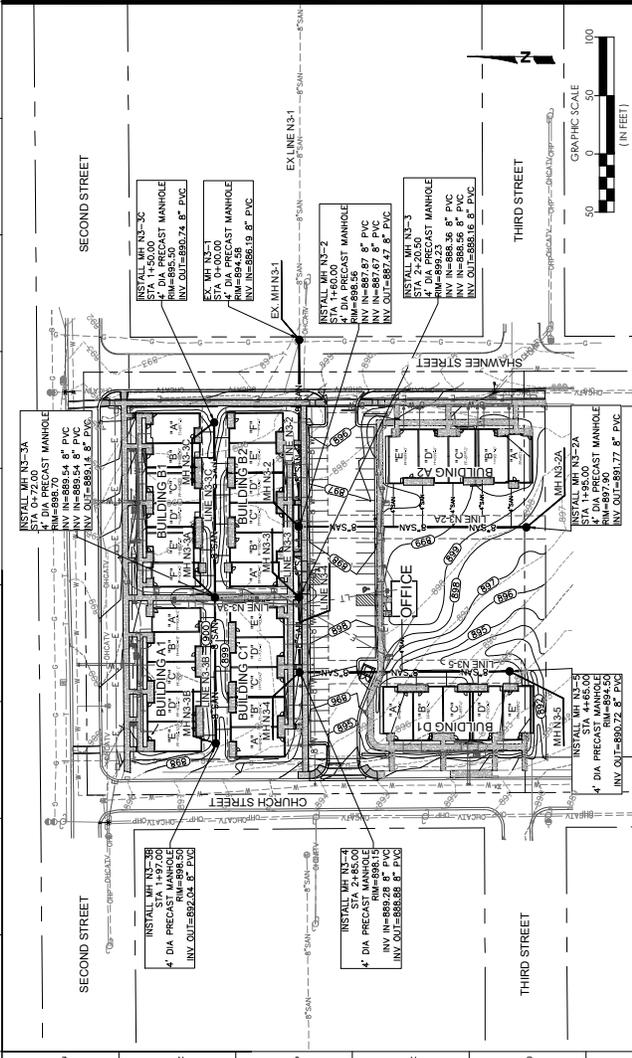
PROJECT NO: 1906-19
 DATE: October 25, 2019
 DRAWN BY: DSB
 SHEET TITLE: PLAN AND PROFILE
 4 OF 7
 SHEET NUMBER: S4.0

S4.0

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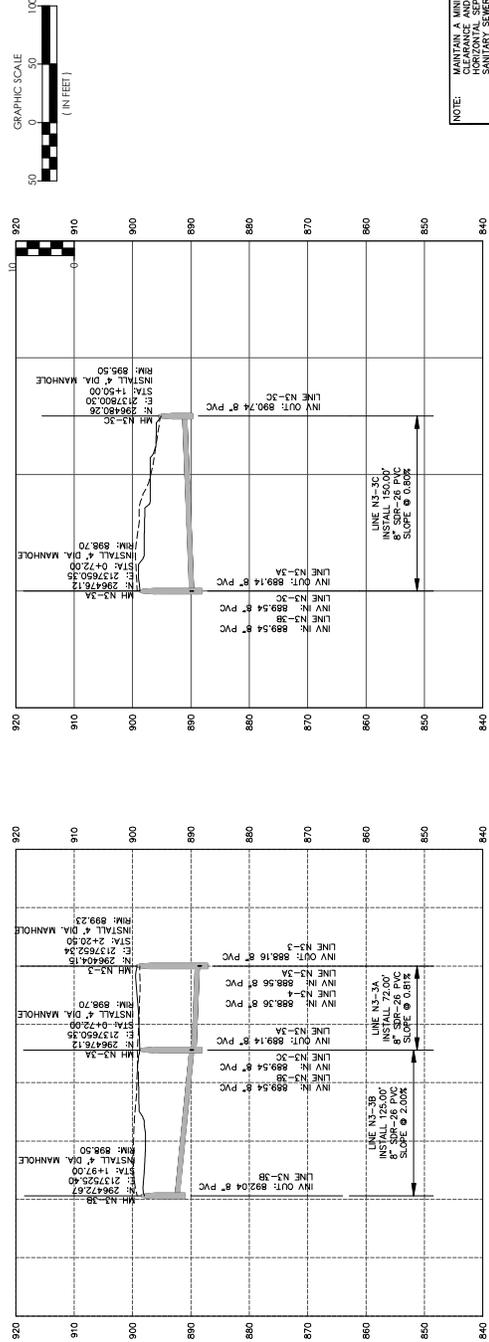
SEWER SERVICE LINE INFORMATION

BUILDING SERVED	UNIT SERVED	SANITARY SERVICE LINE CONNECTION	LINE NUMBER	STA.	F.F.B.	MSFE	STUB LENGTH (ft)	END OF STUB/FI ELEVATION
A1	A	8" x 4" Tee	N1-3B	0+89.00	900.83	896.50	7	894.37
	B	8" x 4" Tee	N1-3B	1+14.00	900.83	896.50	12	895.61
	C	8" x 4" Tee	N1-3B	1+40.00	900.83	896.50	7	894.92
	D	8" x 4" Tee	N1-3B	1+61.00	900.83	896.50	12	895.76
	E	8" x 4" Tee	N1-3B	1+90.00	900.83	896.50	9	895.54
B1	A	8" x 4" Tee	N1-3C	1+42.00	897.00	894.67	9	893.02
	B	8" x 4" Tee	N1-3C	1+20.00	897.00	894.67	12	893.05
	C	8" x 4" Tee	N1-3C	0+93.00	899.00	896.67	7	893.95
	D	8" x 4" Tee	N1-3C	0+68.00	899.00	896.67	12	894.34
	E	8" x 4" Tee	N1-3C	0+41.00	901.00	896.67	7	894.52
	F	8" x 4" Tee	N1-3C	0+19.00	901.00	896.67	12	895.63
B2	A	8" x 4" Tee	N1-3C	0+14.00	900.00	897.67	8	894.43
	B	8" x 4" Tee	N1-3C	0+36.00	900.00	897.67	8	894.50
	C	8" x 4" Tee	N1-3C	0+63.00	900.00	897.67	12	895.04
	D	8" x 4" Tee	N1-3C	0+88.00	900.00	897.67	8	894.66
	E	8" x 4" Tee	N1-3C	1+15.00	898.00	895.67	12	893.75
	F	8" x 4" Tee	N1-3C	1+37.00	898.00	895.67	8	893.58
C1	A	8" x 4" Tee	N1-3B	1+65.00	898.00	895.67	8	894.04
	B	8" x 4" Tee	N1-3B	1+35.00	900.00	897.67	12	894.88
	C	8" x 4" Tee	N1-3B	1+09.00	900.00	897.67	12	895.10
	D	8" x 4" Tee	N1-3B	0+88.00	900.00	897.67	12	895.10
	E	8" x 4" Tee	N1-3B	0+68.00	900.00	897.67	8	894.68
	F	8" x 4" Tee	N1-3B	0+48.00	900.00	897.67	8	894.68



LINE N3-3C

LINE N3-3A TO LINE N3-3B



Continental
CONSULTING ENGINEERS, INC.

SINCE 1976

2001 STATE LINE ROAD
LEAWOOD, KANSAS 66008
TEL (913) 645-6800
FAX (913) 645-6842
www.continental-engineers.com

Schoolyard Lot's
Leavenworth County, Tonganoxie, Kansas
PUBLIC SANITARY SEWER EXTENSION

FOR CONSTRUCTION

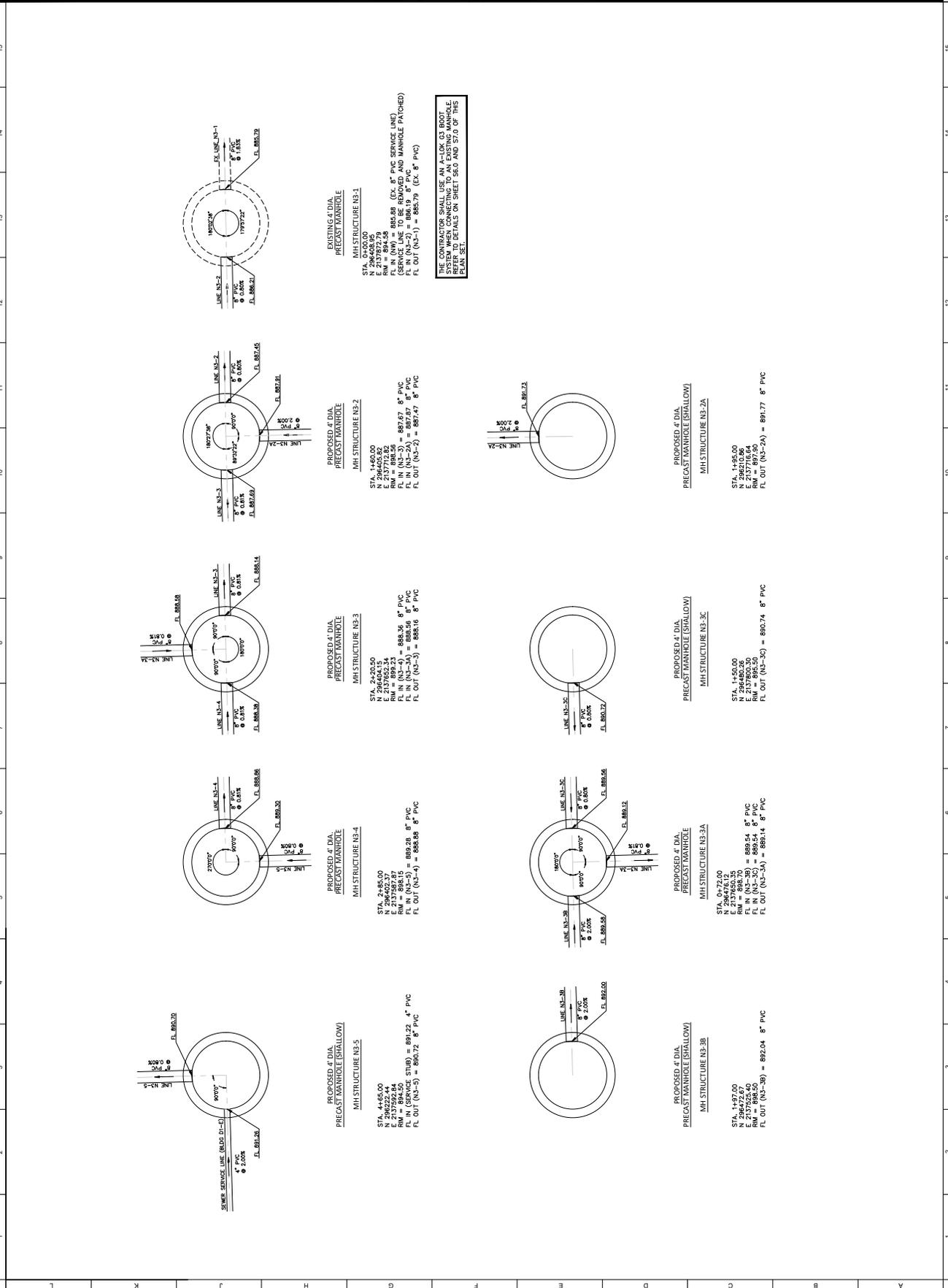
REVISIONS
NO. _____ ISSUED DATE _____ NOTES/COMMENTS _____



PROJECT NO.: 1906-19
DATE: October 25, 2019
DRAWN BY: DSL
SHEET TITLE: MANHOLE DETAIL
5 of 7

S5.0

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EXISTING 4' DIA.
PRECAST MANHOLE
MH STRUCTURE N3-1

STA. 0+00.00
N 2944545.90
E 2137762.79
RM = 894.58
FL IN (N3-1) = 884.98 (C/L 8" PVC SERVICE LINE)
(SERVICE LINE TO BE REMOVED AND MANHOLE PATCHED)
FL IN (N3-2) = 886.19 8" PVC
FL OUT (N3-1) = 885.79 (C/L 8" PVC)

PROPOSED 4' DIA.
PRECAST MANHOLE
MH STRUCTURE N3-2

STA. 1+86.00
N 2944545.15
E 2137762.54
RM = 894.58
FL IN (N3-2) = 887.67 8" PVC
FL IN (N3-3) = 887.57 8" PVC
FL OUT (N3-2) = 887.47 8" PVC

PROPOSED 4' DIA.
PRECAST MANHOLE
MH STRUCTURE N3-3

STA. 1+50.00
N 2944545.15
E 2137762.54
RM = 894.58
FL IN (N3-4) = 888.36 8" PVC
FL IN (N3-3) = 888.58 8" PVC
FL OUT (N3-3) = 888.16 8" PVC

PROPOSED 4' DIA.
PRECAST MANHOLE
MH STRUCTURE N3-4

STA. 2+85.00
N 2944545.15
E 2137762.54
RM = 894.58
FL IN (N3-5) = 889.28 8" PVC
FL OUT (N3-4) = 888.68 8" PVC

PROPOSED 4' DIA.
PRECAST MANHOLE (SHALLOW)
MH STRUCTURE N3-5

STA. 4+65.00
N 2944545.15
E 2137762.54
RM = 894.58
FL IN (SERVICE STUD) = 891.22 4" PVC
FL OUT (N3-5) = 886.72 8" PVC

PROPOSED 4' DIA.
PRECAST MANHOLE (SHALLOW)
MH STRUCTURE N3-2A

STA. 1+86.00
N 2944545.15
E 2137762.54
RM = 894.58
FL OUT (N3-2A) = 884.77 8" PVC

PROPOSED 4' DIA.
PRECAST MANHOLE (SHALLOW)
MH STRUCTURE N3-3C

STA. 1+50.00
N 2944545.15
E 2137762.54
RM = 894.58
FL OUT (N3-3C) = 880.74 8" PVC

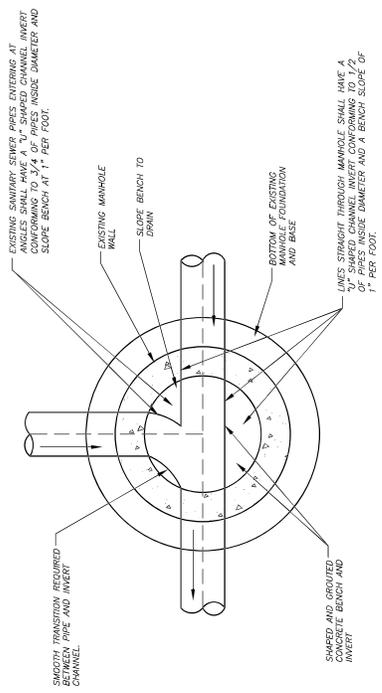
PROPOSED 4' DIA.
PRECAST MANHOLE
MH STRUCTURE N3-3A

STA. 0+72.00
N 2944761.12
E 2137656.70
RM = 894.58
FL IN (N3-3B) = 889.54 8" PVC
FL IN (N3-4) = 889.14 8" PVC
FL OUT (N3-3A) = 888.14 8" PVC

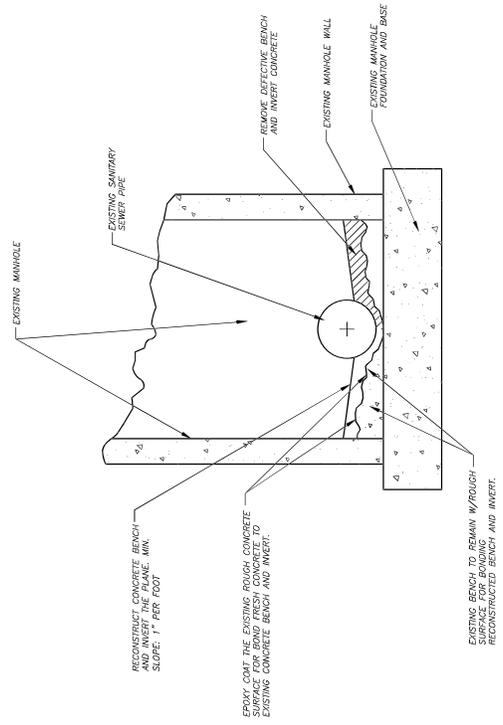
PROPOSED 4' DIA.
PRECAST MANHOLE (SHALLOW)
MH STRUCTURE N3-3B

STA. 1+97.00
N 2944761.12
E 2137656.70
RM = 894.58
FL OUT (N3-3B) = 882.04 8" PVC

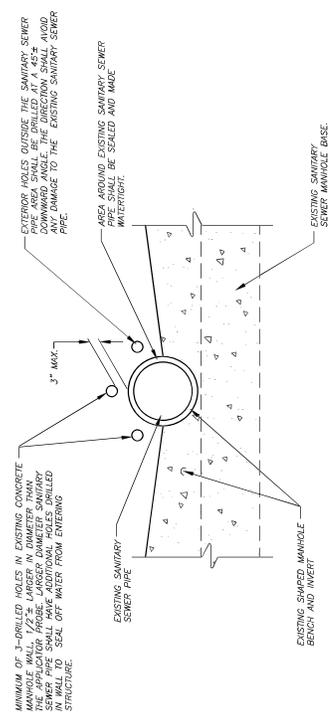
SEE CONSTRUCTION DETAIL FOR MANHOLE CONNECTION SYSTEM WHEN CONNECTING TO AN EXISTING MANHOLE. REFER TO DETAILS ON SHEET S6.0 AND S7.0 OF THIS PLAN SET.



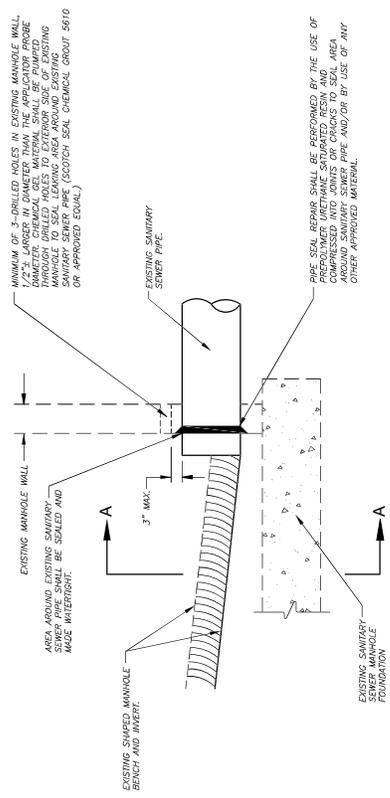
PLAN



MANHOLE BENCH INVERT REHABILITATION DETAILS



SECTION A-A



PIPE SEAL REPAIR DETAILS

NO.	DATE	REVISIONS

PROJECT: WOOD COUNTY
 COUNTY: WOOD COUNTY
 2017 Edition
SANITARY SEWER DETAILS #2
 COUNTY: WOOD COUNTY
 SHEET: 7 OF 7
 SHEET 87.0



Leavenworth County, Tonganoxie, Kansas
Schoolyard Lofts
 PUBLIC STREET AND WATER MAIN

FOR CONSTRUCTION
 REVISIONS
 DATE: Issued Date: Notes/Comments:



PROJECT NO. 1808-19
 DATE October 25, 2019
 DRAWN BY BCL
 SHEET TITLE
GENERAL LAYOUT SHEET
2

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SURVEY CONTROL POINTS
 THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION PLANE GRID CONTROL POINTS FOR THIS PROJECT FROM THE CONTINENTAL CONSULTING ENGINEERS, INC.

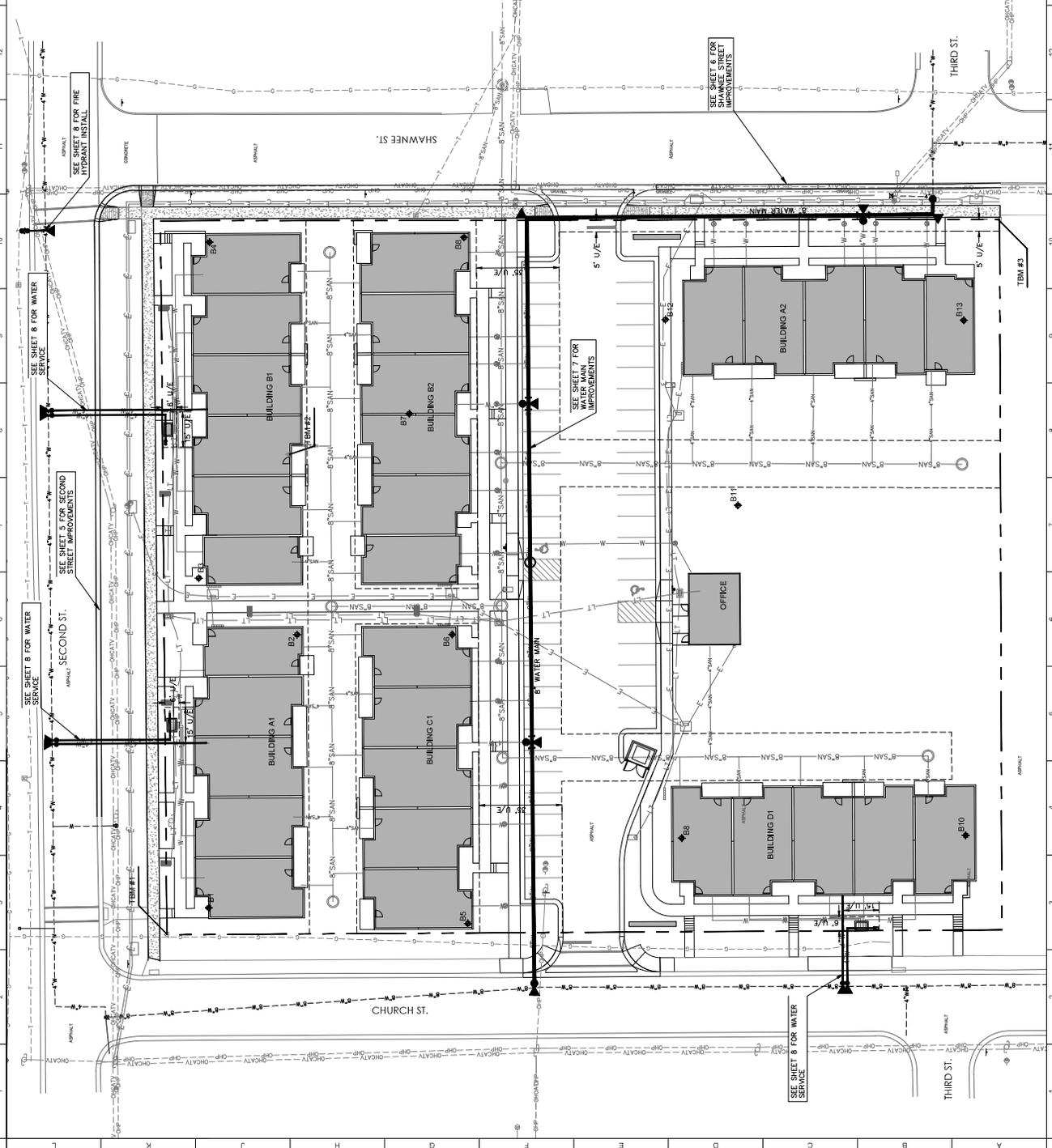
IRON BAR, "I.S. NO. 1296"
 LOCATED APPROXIMATELY 113' WEST OF SHAWNEE STREET (PROJECTION OF SOUTH CURB).
 N 296496.48 E 213774.434
 ELEV = 889.73

IRON BAR, "I.S. NO. 1298"
 LOCATED APPROXIMATELY 113' WEST OF SHAWNEE STREET (PROJECTION OF SOUTH CURB).
 N 296496.48 E 213774.434
 ELEV = 889.73

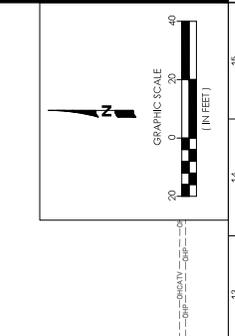
IRON BAR, "I.S. NO. 1298"
 LOCATED APPROXIMATELY 3' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF SHAWNEE STREET (PROJECTION OF SOUTH CURB).
 N 296197.30 E 2137820.50
 ELEV = 900.00

IRON BAR, "I.S. NO. 1298"
 LOCATED APPROXIMATELY 3' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF SHAWNEE STREET (PROJECTION OF SOUTH CURB).
 N 296197.30 E 2137820.50
 ELEV = 900.00

GRID COORDINATE SYSTEM
 KANSAS STATE PLANE NORTH FIPS FEET MARS
 HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988



- LEGEND**
- EXISTING WATER
 - EXISTING FIRE HYDRANT / VALVE
 - EXISTING OVERHEAD POWER
 - EXISTING UNDERGROUND POWER
 - EXISTING STREET LIGHT
 - EXISTING POWER POLE
 - EXISTING GAS
 - EXISTING SANITARY SEWER
 - EXISTING AIR FORCE
 - EXISTING COMPRESSED AIR LINE
 - EXISTING STORM SEWER
 - EXISTING CATCH BASIN
 - EXISTING CABLE TV
 - EXISTING UNDERGROUND TEL
 - EXISTING FIBER OPTIC
 - EXISTING FENCE LINE
 - PROPOSED UNDERGROUND ELEC.
 - PROPOSED WATER
 - PROPOSED COMM / FIBER / TEL
 - PROPOSED GAS LINE
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED IRRIGATION
 - PROPOSED STREET LIGHT
 - PROPOSED SECURITY CAM
 - DATA AND POWER
 - PROPOSED TRANSFORMER





Leavenworth County, Tonganoxie, Kansas
Schoolyard Lot's
 PUBLIC STREET AND WATER MAIN

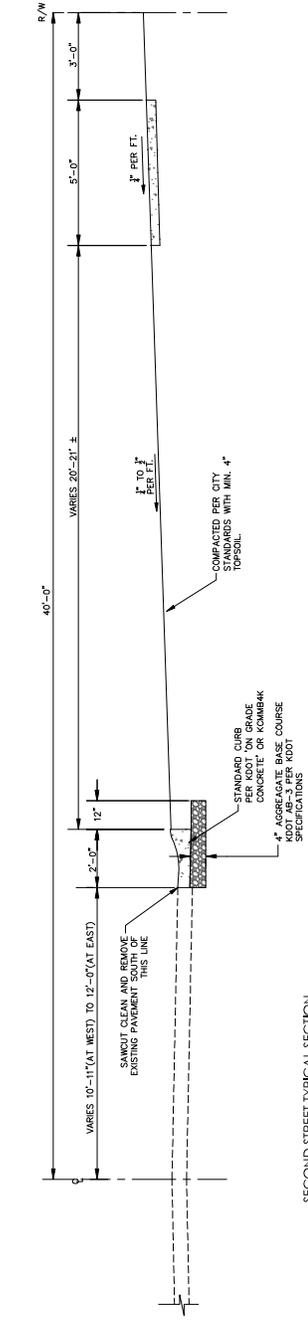
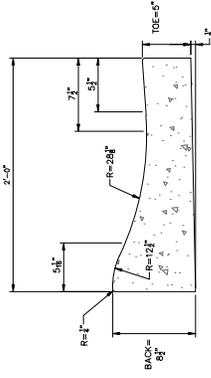
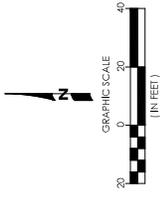
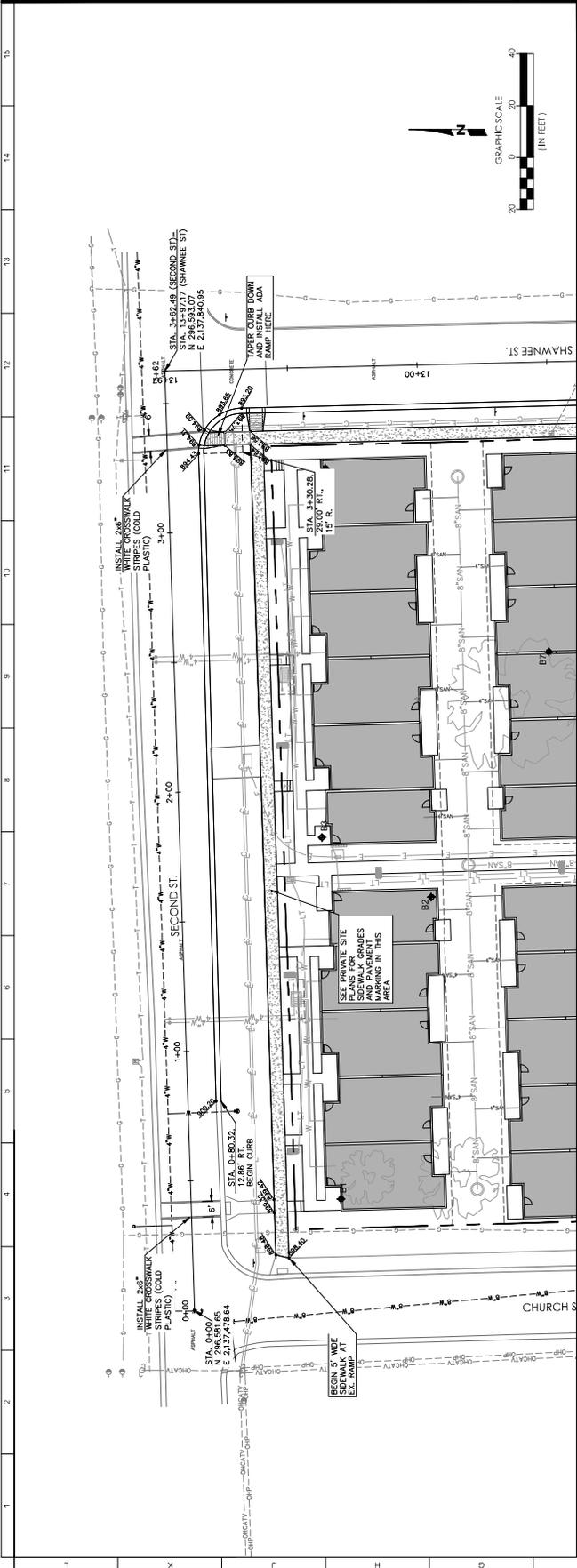
FOR CONSTRUCTION
 REVISIONS
 DATE: Issued Date: Notes/Comments:



PROJECT NO. 1808-19
 DATE October 25, 2019
 DRAWN BY BCL
 SHEET TITLE
SECOND STREET PLAN

5

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Schoolyard Lofts
 Leavenworth County, Tonganoxie, Kansas
 PUBLIC STREET AND WATER MAIN

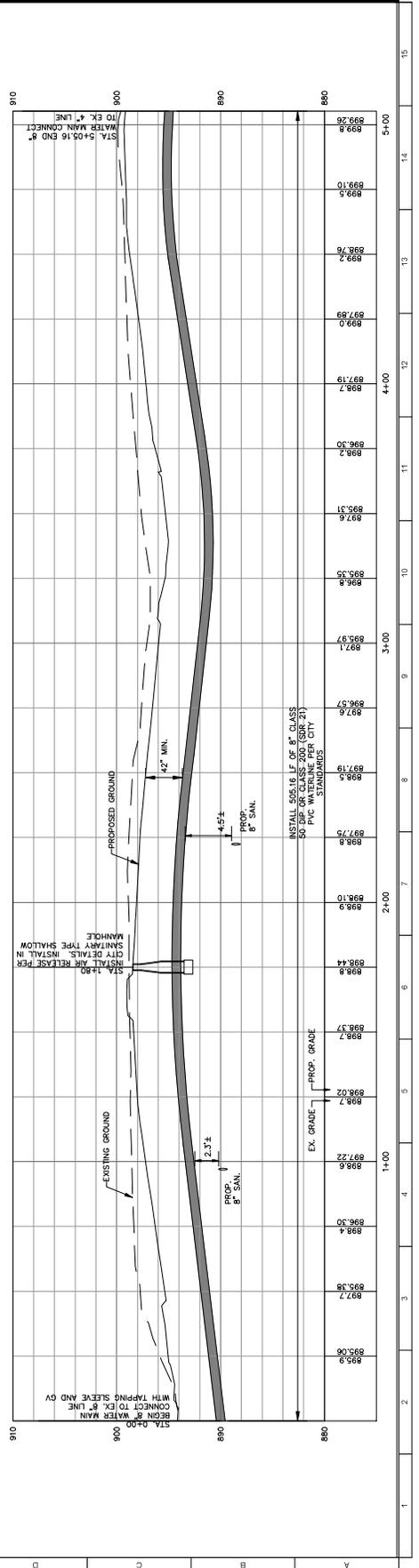
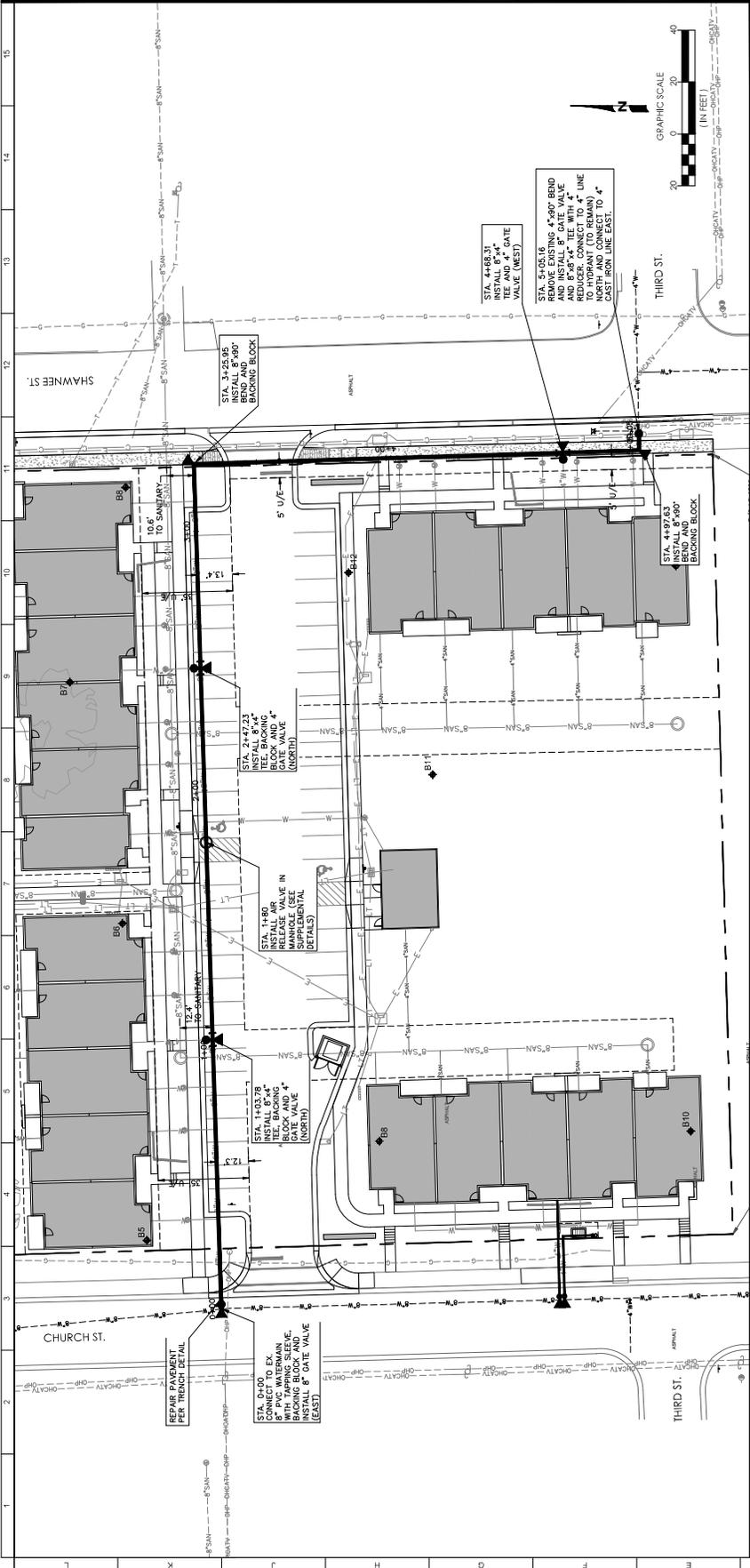
FOR CONSTRUCTION
 REVISIONS
 ETC. Issued Date: Notes/Comments:



PROJECT NO: 1908-19
 DATE: October 25, 2019
 DRAWN BY: BCL
 SHEET TITLE: WATER MAIN PLAN & PROFILE

7

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Leavenworth County, Tonganoxie, Kansas
Schoolyard Loftis
 PUBLIC STREET AND WATER MAIN

FOR CONSTRUCTION

REVISIONS
 ETC. Issued Date: Notes/Comments:



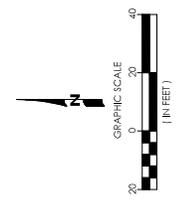
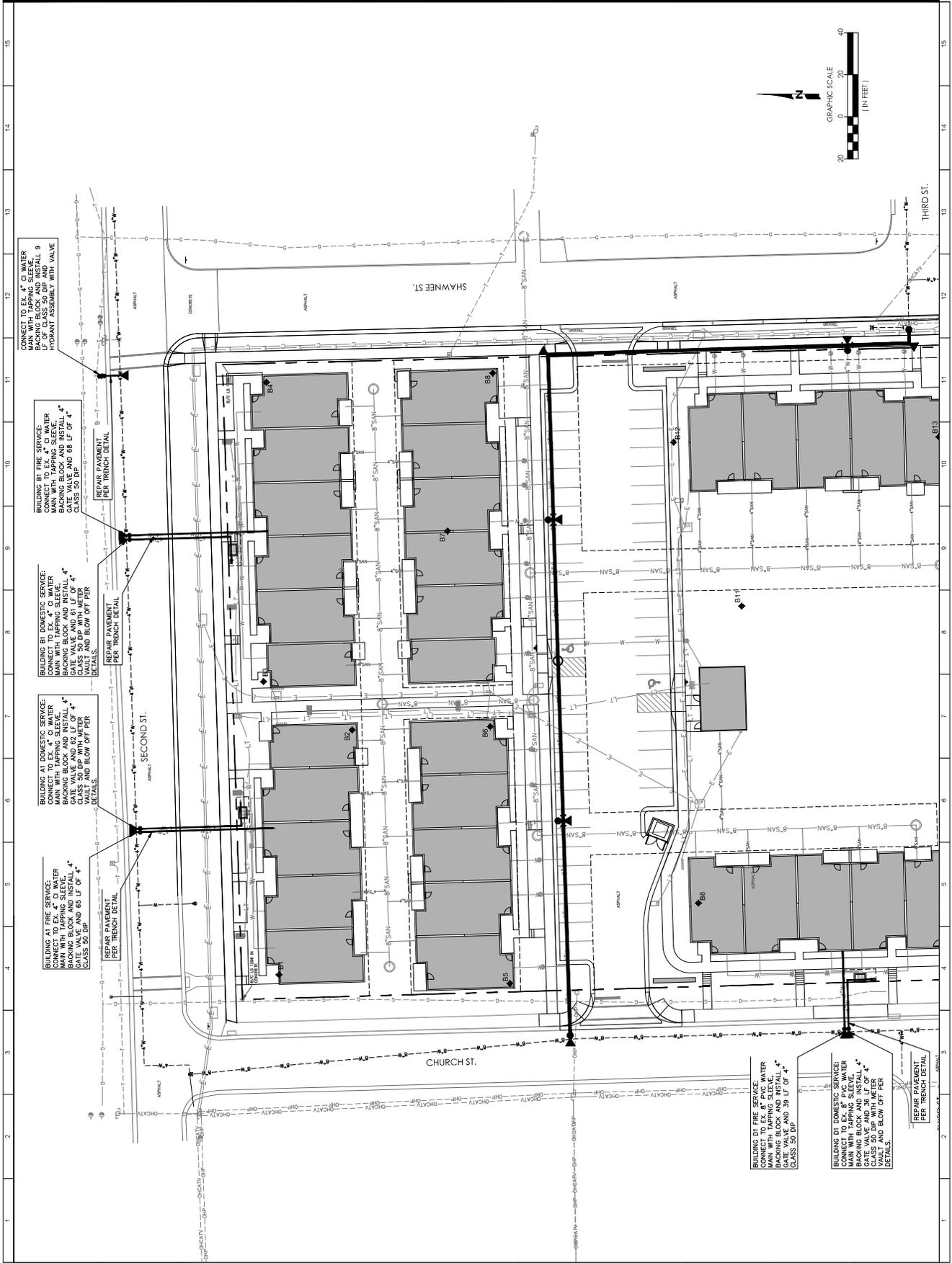
SEAL

PROJECT NO. 1908-19
 DATE October 25, 2019
 DRAWN BY BCL
 SHEET TITLE

WATER SERVICE PLAN

8

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CONNECT TO EX. 4" CI WATER MAIN. INSTALL 9" BACKING BLOCK AND INSTALL 9" LF OF CLASS 50 DIP AND HYDRANT ASSEMBLY WITH VALVE.

BUILDING B1 FIRE SERVICE: CONNECT TO EX. 4" CI WATER MAIN WITH TAPPING SLEEVE, BACKING BLOCK AND INSTALL 4" GATE VALVE AND 88 LF OF 4" CLASS 50 DIP.

BUILDING B2 DOMESTIC SERVICE: CONNECT TO EX. 4" CI WATER MAIN WITH TAPPING SLEEVE, BACKING BLOCK AND INSTALL 4" GATE VALVE AND 82 LF OF 4" CLASS 50 DIP WITH METER AND BLOW OFF PER DETAILS.

BUILDING B3 FIRE SERVICE: CONNECT TO EX. 4" CI WATER MAIN WITH TAPPING SLEEVE, BACKING BLOCK AND INSTALL 4" GATE VALVE AND 65 LF OF 4" CLASS 50 DIP.

BUILDING D1 FIRE SERVICE: CONNECT TO EX. 4" CI WATER MAIN WITH TAPPING SLEEVE, BACKING BLOCK AND INSTALL 4" GATE VALVE AND 38 LF OF 4" CLASS 50 DIP.

BUILDING D2 DOMESTIC SERVICE: CONNECT TO EX. 4" CI WATER MAIN WITH TAPPING SLEEVE, BACKING BLOCK AND INSTALL 4" GATE VALVE AND 38 LF OF 4" CLASS 50 DIP WITH METER AND BLOW OFF PER DETAILS.

REPAIR PAVEMENT PER TRENCH DETAIL.

Continental
CONSULTING ENGINEERS, INC.

SINCE 1976

200 S. WOLFE AVENUE
LEAWOOD, KANSAS 66048
TEL: (913) 642-6842
FAX: (913) 642-6841
www.continentaleng.com

200 STATE LINE ROAD
LEAWOOD, KANSAS 66048
TEL: (913) 642-6842
FAX: (913) 642-6841
www.continentaleng.com

SCHOOLYARD LOFTS
LEAVENWORTH COUNTY, TONGANOXIE, KANSAS
PUBLIC STREET AND WATER MAIN

FOR CONSTRUCTION

REVISIONS

DATE: Issued Date: Notes/Comments:

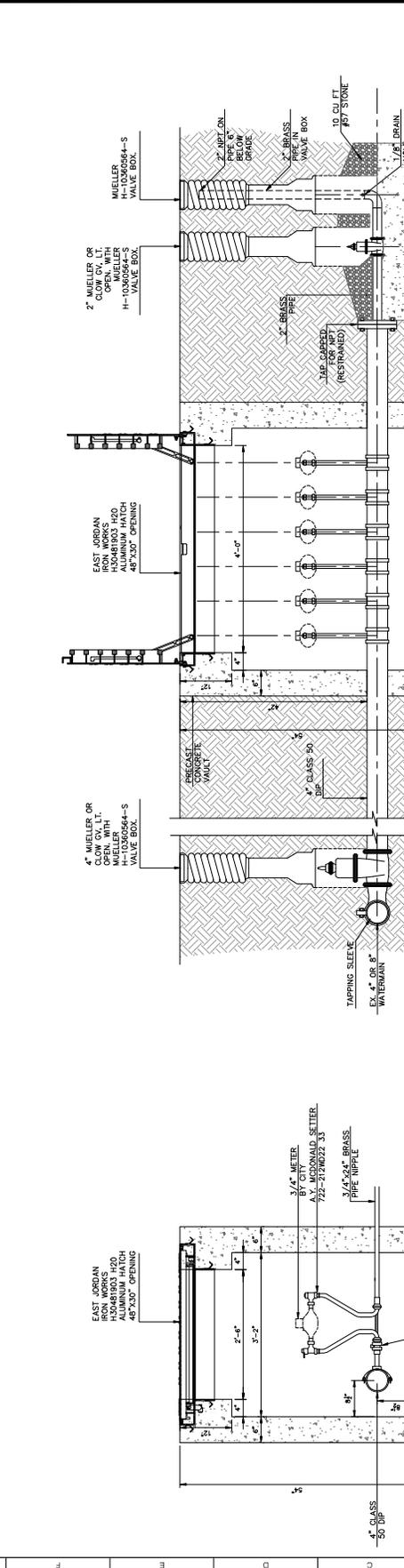
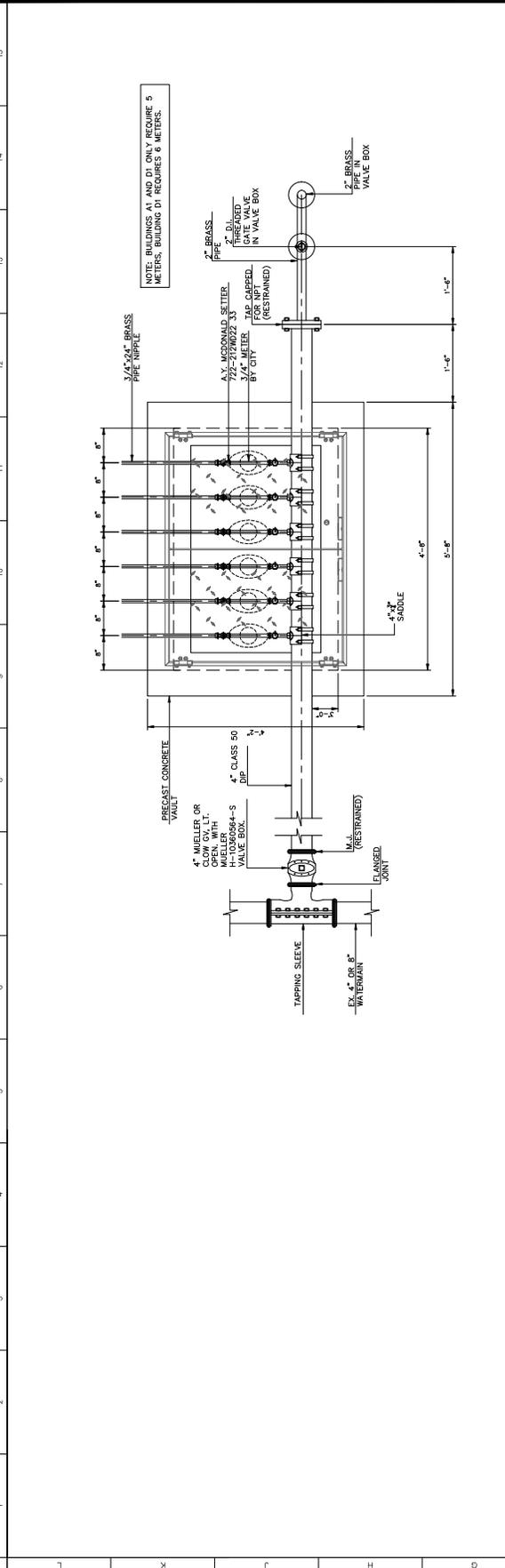
811
Call before you dig.
Keep what's below.

PROJECT NO: 1808-19
DATE: October 25, 2019
DRAWN BY: BCL

SHEET TITLE: METER VAULT DETAILS

9

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NOTE: BUILDINGS AT AND D1 ONLY REQUIRE 5 METERS, BUILDING D1 REQUIRES 6 METERS.

NOTE: ALL WORK SHALL MEET THE REQUIREMENTS OF THE FOLLOWING:

1. ALL BRASS FITTINGS SHALL BE BY A.Y. McDONALD. METERS SHALL BE MUELLER SYSTEMS, MUELLER OR CLOW.
2. ALL VALVES SHALL BE MUELLER OR CLOW.
3. ALL FITTINGS, SETTERS AND VALVES SHALL BE SUPPLIED BY FRETECH CORP. CONTACT CAVN TONGANOXIE REQUIREMENTS.
4. THE PRECAST VAULT AND ACCESS HATCH SHALL BE SUPPLIED BY FRETECH CORP. 913-441-4600. CONTACT LARRY MAJCH.

TYPICAL WATER METER VAULT DETAIL
NOT TO SCALE

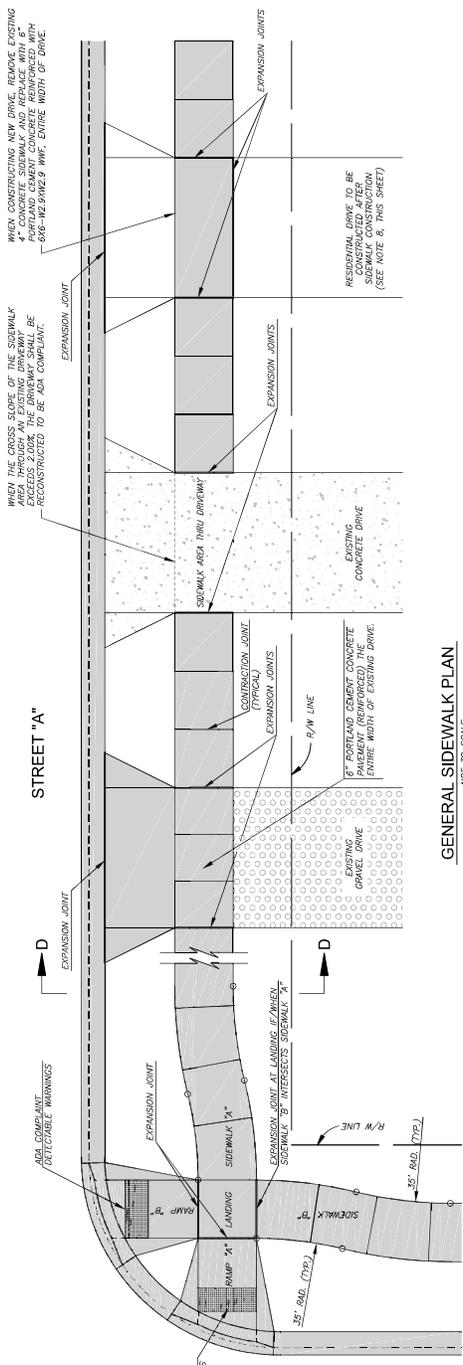
GENERAL NOTES FOR SIDEWALK CONSTRUCTION

- ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED TO BE ADA COMPLIANT. THE MOST CURRENT VERSION OF THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWING) PUBLISHED BY THE U.S. ACCESS BOARD.
- CONCRETE FOR SIDEWALK AND SIDEWALK RAMPS SHALL BE AS SPECIFIED ON THE CITY OF TOWSON'S STREET DETAILS.
- PRIOR TO CONSTRUCTING SIDEWALK, THE SUBGRADE SHALL BE COMPACTED TO TYPE B (MR-90) SPECIFICATIONS TO A DEPTH OF 6" (MIN).
- CONTRACTION JOINTS SHALL BE PLACED IN 5' WIDE SIDEWALKS AT 5'-0" INTERVALS, AS DIRECTED BY THE CITY ENGINEER OR AN AUTHORIZED REPRESENTATIVE.
- EXPANSION JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE SIDEWALK ABUTS EXISTING STRUCTURES AND AT 100' INTERVALS ON LONG RUNS, OR AS DIRECTED BY THE CITY ENGINEER OR AN AUTHORIZED REPRESENTATIVE.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED AT ALL LOCATIONS WHERE A SIDEWALK INTERSECTS A STREET AND AS OTHERWISE SHOWN ON THE PLAN.
- RAMPS SHALL BE SUFFICIENTLY SUPPORTED BY CHAIRS.
- RESIDENTIAL DRENNY CONSTRUCTION SHALL CONFORM TO CITY STANDARDS.

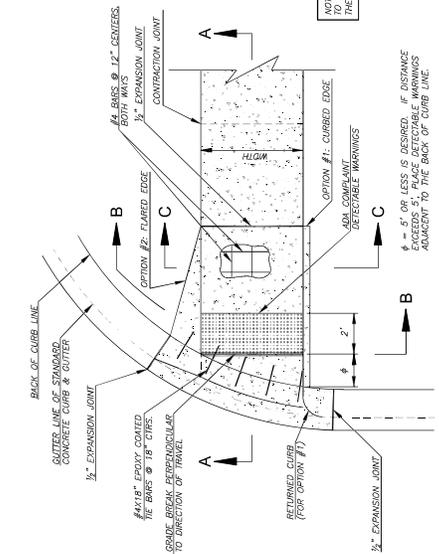
SIDEWALK AND SIDEWALK RAMP ELEMENTS

- RAMP:**
 MAX. CROSS SLOPE = 2.0% (50:1)
 MIN. CLEAR WIDTH = 4 FT. (5 FT. PREFERRED)
 LENGTH = AS DETERMINED BY PROWING AND FIELD CONDITIONS
- LANDING:**
 MAX. CROSS SLOPE = 2.0% (50:1)
 MIN. SIZE = 5 FT. X 8 FT.
- SIDEWALK:**
 MAX. CROSS SLOPE = 2.0% (50:1)
 MIN. WIDTH = 5 FT.

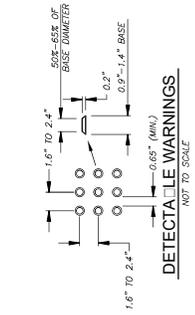
AT PEDESTRIAN STREET CROSSINGS WITHOUT YIELD OR STOP CONTROL AND AT PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE (PROWING 8304.5.3).



GENERAL SIDEWALK PLAN
NOT TO SCALE

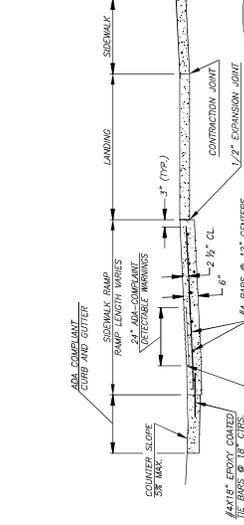


SIDEWALK RAMP DETAIL
NOT TO SCALE



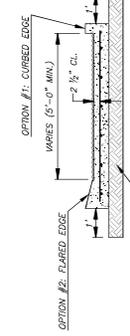
DETECTABLE Warnings
NOT TO SCALE

DETECTABLE Warnings NOTES:
 DETECTABLE WARNING SYSTEM SHALL BE A CAST-IN-PLACE REPLACABLE SYSTEM.
 DETECTABLE WARNING SYSTEM SHALL BE ADA COMPLIANT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 DETECTABLE Warnings SHALL EXTEND THE FULL WIDTH OF THE SIDEWALK RAMP, EXCLUDING THE CURBS/FLARES.
 DETECTABLE Warnings SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.



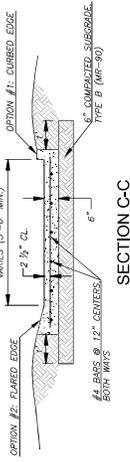
SECTION A-A
NOT TO SCALE

NOTE: THE CONTRACTOR WILL HAVE THE OPTION TO USE A FLARED EDGE OR A CURBED EDGE ON THE SIDES OF SIDEWALK RAMPS.



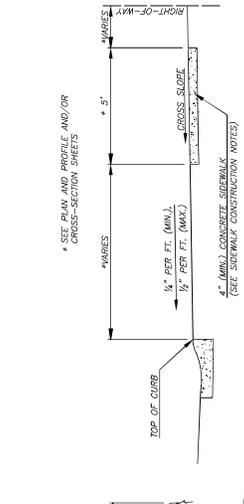
SECTION B-B
NOT TO SCALE

OPTION #1: CURBED EDGE
 WARES (5'-0" MIN.)
 2 1/2" CL.



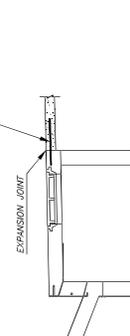
SECTION C-C
NOT TO SCALE

OPTION #2: FLARED EDGE
 WARES (5'-0" MIN.)
 2 1/2" CL.



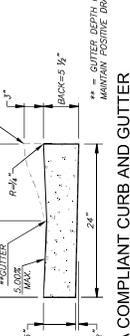
SECTION D-D
NOT TO SCALE

NOTE: THE CONTRACTOR WILL HAVE THE OPTION TO USE A FLARED EDGE OR A CURBED EDGE ON THE SIDES OF SIDEWALK RAMPS.



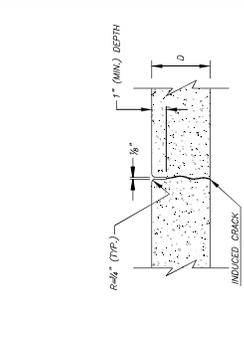
SIDEWALK TO STRUCTURE DOWELING DETAIL
NOT TO SCALE

OPTION #1: CURBED EDGE
 WARES (5'-0" MIN.)
 2 1/2" CL.



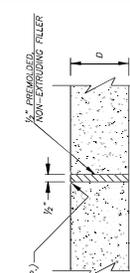
ADA COMPLIANT CURB AND GUTTER
NOT TO SCALE

OPTION #2: FLARED EDGE
 WARES (5'-0" MIN.)
 2 1/2" CL.



CONTRACTION JOINT
NOT TO SCALE

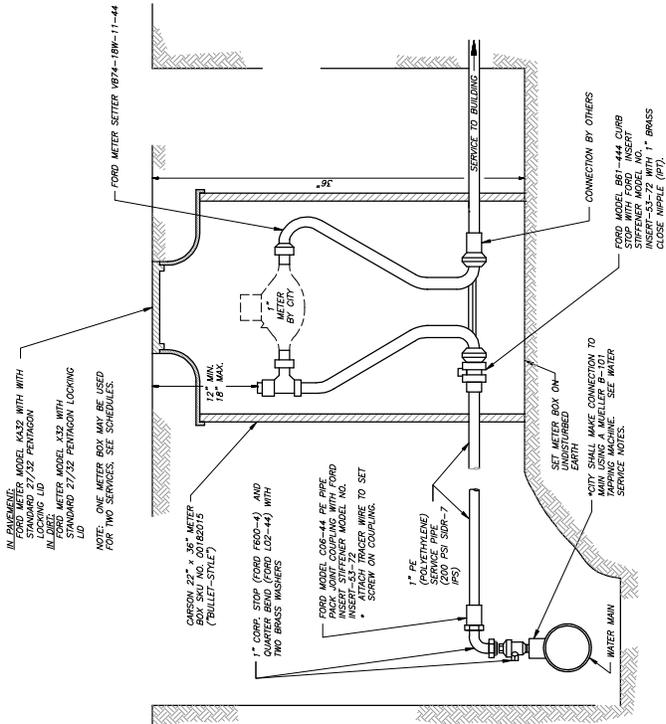
D = CONCRETE THICKNESS AS SPECIFIED IN THE PLANS



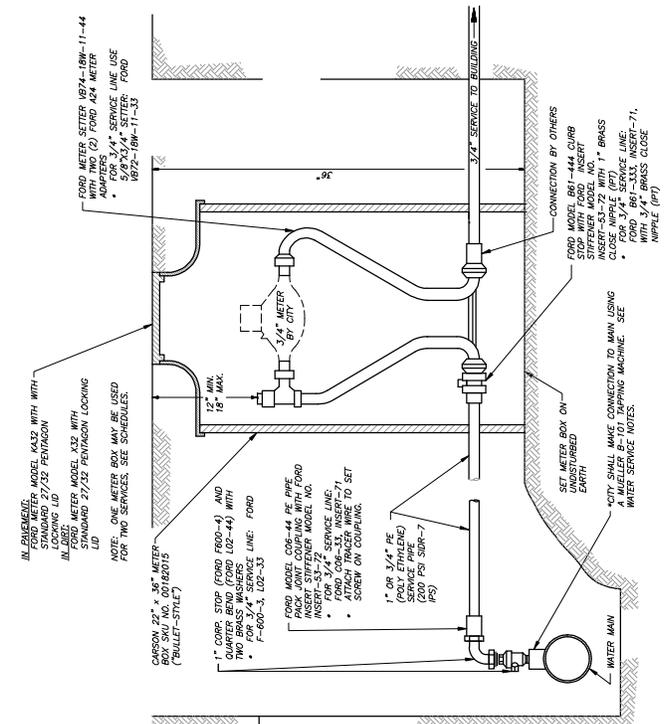
EXPANSION JOINT
NOT TO SCALE

1/2" PREMOULDED, NON-EXPANDING FILLER

P E T T E R W O O D & A S S O C I A T E S
 CONSULTING ENGINEERS
 2017 Edition
SIDEWALK DETAILS
 C O U N T Y O F T O W S O N M A R Y L A N D
 P E T T E R W O O D & A S S O C I A T E S
 S I D E W A L K D E T A I L S



TYPICAL 1" WATER SERVICE



TYPICAL 3/4" WATER SERVICE

REVISIONS	DATE	BY

PENTAGON WATER SERVICE
 2017 Edition
 WATERLINE DETAILS 12
 SECTION

CITY OF TONGANOXIE, KANSAS

APPLICATION FOR PRELIMINARY PLAT AND FINAL PLAN APPROVAL

Requested Action	Fee Paid	Date Rec'd	Date Published	Hearing Date
<input type="checkbox"/> Preliminary Plat	_____	_____	_____	_____
<input checked="" type="checkbox"/> Street & Storm Sewer Plan	_____	_____	_____	_____
<input checked="" type="checkbox"/> Sanitary Sewer Plan	_____	_____	_____	_____
<input checked="" type="checkbox"/> Waterline Plan	_____	_____	_____	_____
<input checked="" type="checkbox"/> Final Plat	_____	_____	_____	_____
<input checked="" type="checkbox"/> Site Plan	_____	_____	_____	_____
<input checked="" type="checkbox"/> Landscaping Plan	_____	_____	_____	_____

Name of Development Schoolyard Lofts

General Location Between 2nd and 3rd Street and between Church St. and Shawnee St.

Applicant:

Name: Schoolyard Townhomes, LLC Contact: Jason Swords

Address: 1125 Grand Blvd, Suite 202, Kansas City, MO 64106

Phone/Fax: 816-581-3992

E-mail address Jswords@sunflowerkc.com

Owner Developer:

Name: Schoolyard Townhomes, LLC Contact: Jason Swords

Address: 1125 Grand Blvd, Suite 202, Kansas City, MO 64106

Phone/Fax: 816-581-3992

E-mail Address Jswords@sunflowerkc.com

Engineer:

Name: Continental Consulting Engineers Contact: Brian Lavery, P.E.

Address: 9000 State Line Road, Leawood, KS 66206

Phone/Fax: 913-642-6642 / 913-642-6941

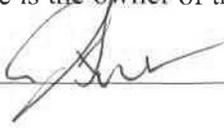
E-Mail Address bl@ccengineers.com

SUBDIVISION INFORMATION:

- Gross acreage of plat: 2.45 ac
- Total number of lots: 1
Residential Business _____ Industrial _____ Other _____
- Existing zoning Single Family Proposed zoning R-MF2-P

THE owner herein agrees to comply with the subdivision regulations for Tonganoxie, as amended, and all other pertinent ordinances or resolutions of Tonganoxie, and statutes of the State of Kansas. The undersigned further states that he is the owner of the proposed for platting.

OWNER'S SIGNATURE

A handwritten signature in black ink, appearing to be 'G. J. ...', written over a horizontal line.

OFFICE USE:

RECEIVED BY _____

Date _____ Fee Submitted _____

Final Plat Checklist

Submit a minimum of 4 copies of the Final Plat, 1-11x17 copy, 1 address map, with required signatures and professional certifications for review by the Planning Commission.

- Review: See Planning Application & Review Schedule for submittal dates. Staff review will include Planner, Administrator, City Superintendent, Engineer, Fire Chief, Police Chief and Building Inspector
- Fee: See Application Fee schedule for current fee amounts as established by the City Council. Costs incurred by the city for review of revised plats will be billed to the applicant.
- Checklist:

- ✓ Clearly marked with legal description
- ✓ Boundary lines marked with accurate distances & angles
- ✓ Mark highways, streets, alleys with width and names
- ✓ Outline of property dedicated for public use
- ✓ Lines of departure from one street to another
- ✓ Lines adjoining property and lines of adjoining streets with width & names
- ✓ All lots designated by numbers or letters
- ✓ All streets avenues and other grounds by names , letters or numbers
- ✓ Location & widths of building lines on front & side streets
- ✓ Location & widths of utility easements, easements for future construction and easements for drainage purposes.
- ✓ All dimensions both linear & angular for locating boundaries

n/a The radii, arcs, chords, points of tangency and central angles for all curvilinear streets and radii for rounded corners

n/a for replat Location and description of survey monuments and bench marks

- ✓ Subdivision name, Clearly marked as Final Plat, Points of compass, and names of every owner or subdividers
- n/a Reference to Private restrictions and trusteeships if on a separate instrument
- ✓ Plat Restrictions, dedication of public use, granting of easement acknowledged by owners
- ✓ Signature lines & verification of owners
- ✓ Signature lines for Land Surveyor or Licensed Professional Engineer of the State of Kansas
- ✓ Signature lines for Chairman & Secretary of the Planning Commission
- ✓ Signature lines for City Engineer
- ✓ Signature lines for Mayor and City Clerk
- ✓ Signature lines for Register of Deeds
- ✓ Signature line for the County Surveyor
- ✓ True north point, graphic scale, & date

**PRAIRIE FIRE
DEVELOPMENT
GROUP**
SCHOOLYARD TOWNHOMES
Tonganoxie, KS



ARCHITECT
ODIMO LLC, KANSAS, JA
701 E. 93RD STREET
KANSAS CITY, MISSOURI 64118
816.221.0100
odimo@odimo.us

QUAL ENGINEER
ATYIA ARCHITECTURE, PE
11000 PARALLEL PKWY
OVERLAND PARK, MISSOURI 66213
913.551.9109
atya@atya.com

STRUCTURAL ENGINEERING
ATYIA ARCHITECTURE, PE
11000 PARALLEL PKWY
OVERLAND PARK, MISSOURI 66213
913.551.9109
atya@atya.com

DATE Description

Issue
FINAL DEVELOPMENT PLAN
06 September, 2019

Lead Engineer

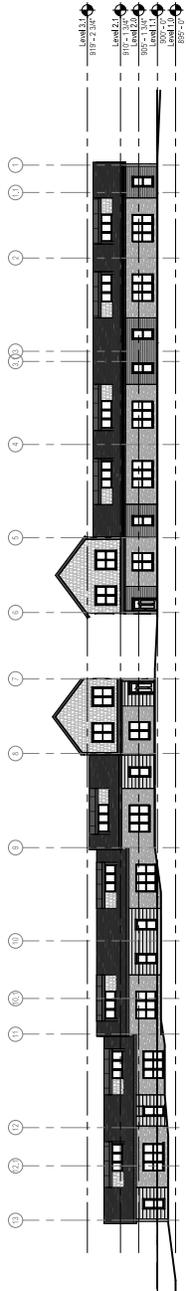
**NOT FOR
CONSTRUCTION**

Description

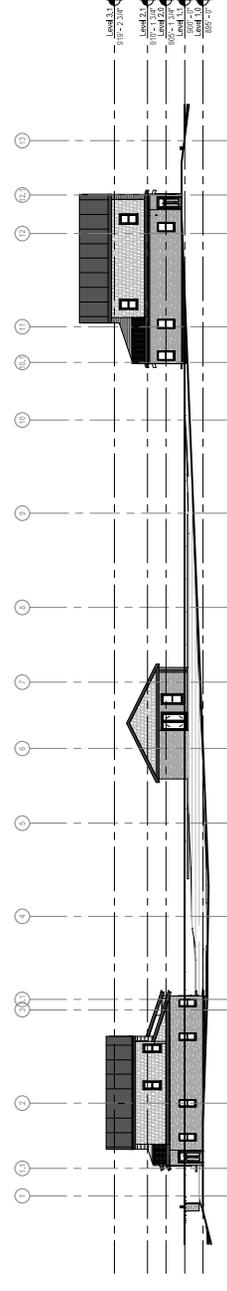
OVERALL ELEVATIONS

A200

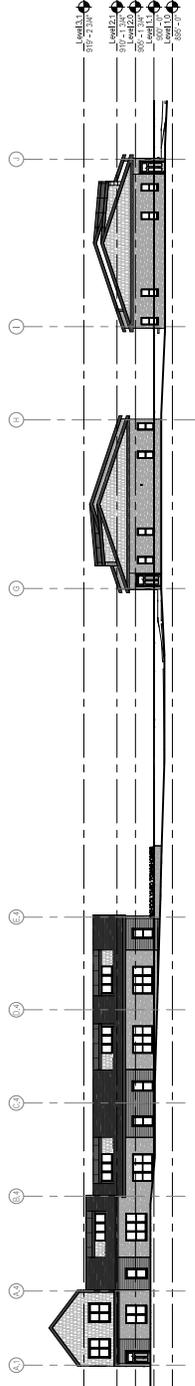
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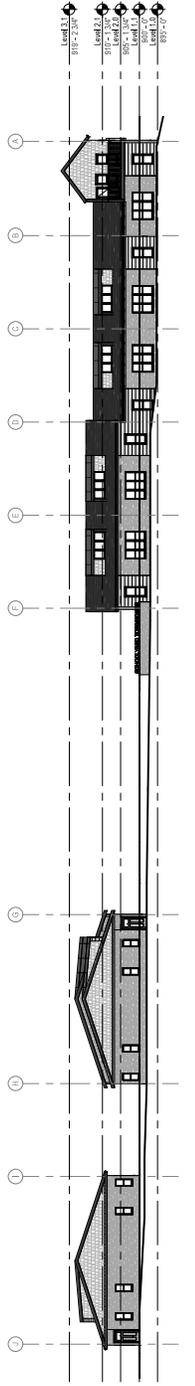
4 | SITE ELEVATION - NORTH
1/8" = 1'-0"



3 | SITE ELEVATION - SOUTH
1/8" = 1'-0"



2 | SITE ELEVATION - EAST
1/8" = 1'-0"



1 | SITE ELEVATION - WEST
1/8" = 1'-0"

**PRAIRIE FIRE
DEVELOPMENT
GROUP**
SCHOOLYARD TOWNHOMES
Tonganoxie, KS

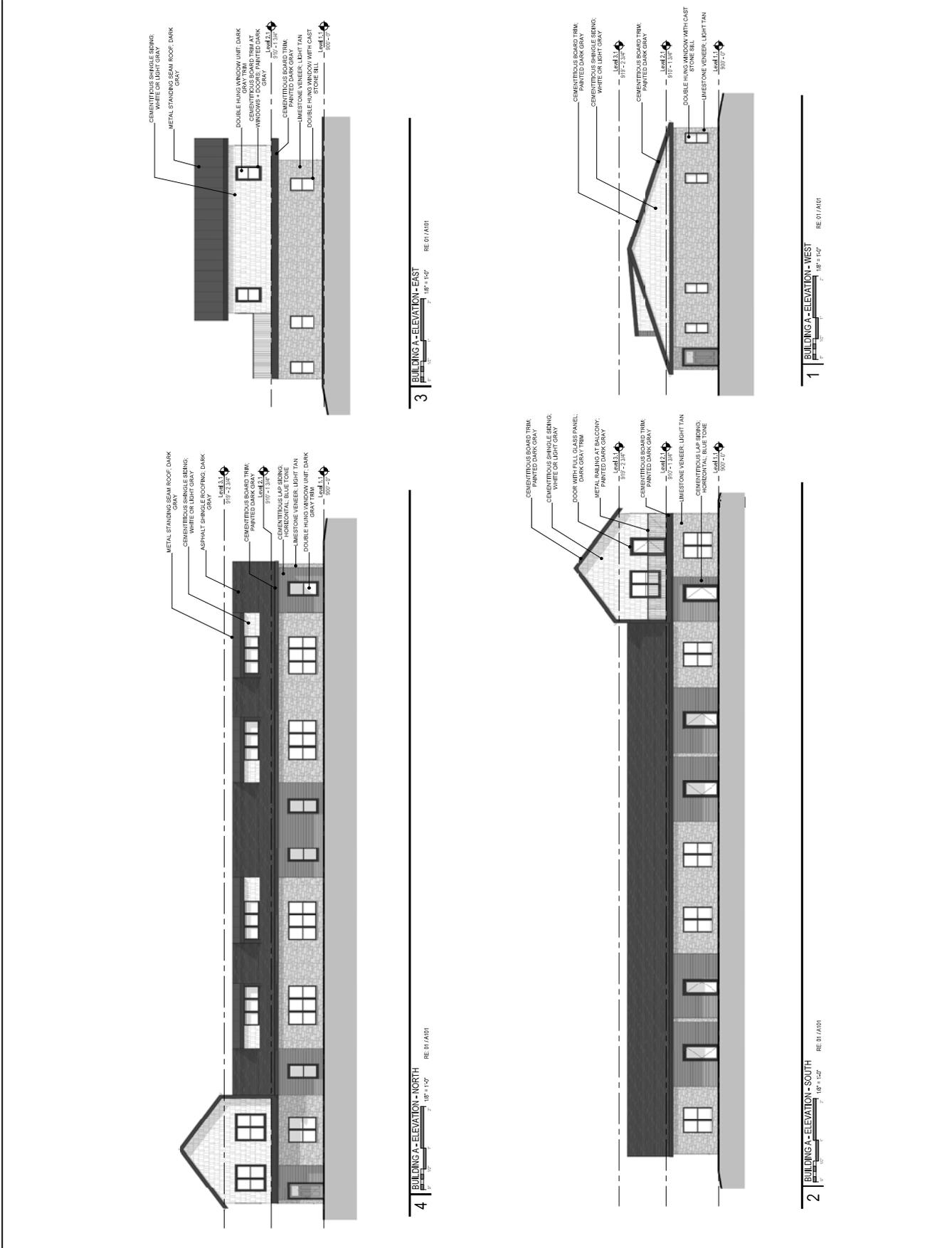


ARCHITECT
1715 W. 34th St., Suite 100
701 E. 93rd Street
Kansas City, Missouri 64118
www.odimo.com
info@odimo.com

OWNER
1000 PEARLE DRIVE
COLUMBIANA, MO 64428
303.242.9422
M@prairiehomes.com

STRUCTURAL ENGINEER
ATM P&S, P.E.
1825 GOSSET STREET
KANSAS CITY, MO 64108
p&s@atmpes.com

Date Description



3 BUILDING A - ELEVATION - EAST
RE: 01/A101

4 BUILDING A - ELEVATION - NORTH
RE: 01/A101

1 BUILDING A - ELEVATION - WEST
RE: 01/A101

2 BUILDING A - ELEVATION - SOUTH
RE: 01/A101

FINAL DEVELOPMENT PLAN
06 September, 2019

**NOT FOR
CONSTRUCTION**

Description
**ELEVATIONS - BUILDING
A1**

A201

**PRAIRIE FIRE
DEVELOPMENT
GROUP**
SCHOOLYARD TOWNHOMES
Tonganoxie, KS

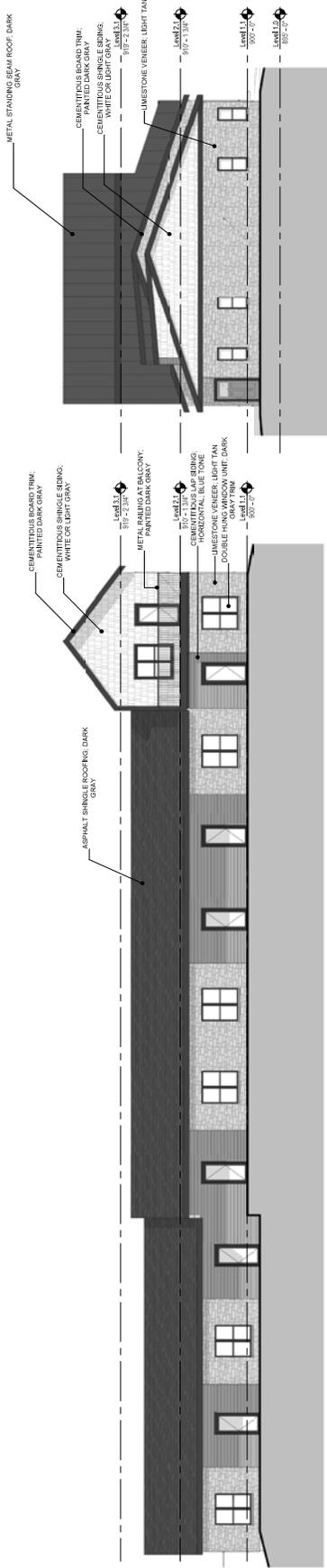


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1711 W. 45th Street, JA
701 E. 93rd Street
KANSAS CITY, MISSOURI 64118
arsaw@odimo.us

ONLINE ENGINEER
11000 PARKLIFE DRIVE
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KANSAS CITY, MISSOURI 64116
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STRUCTURAL ENGINEERING
ATM PAK BAY, PE
1820 GOSSET STREET
KANSAS CITY, MO 64108
314.241.2400
patt@atmpak.com

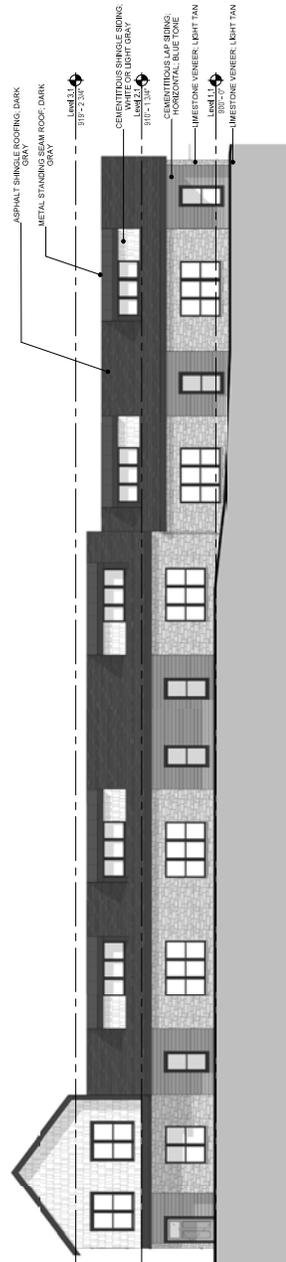
△ Date Description



4 BUILDING B - ELEVATION - NORTH
18" = 1'-0"
RE: 01/A102

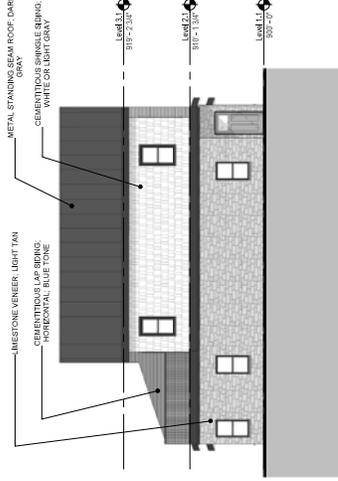
3 BUILDING B - ELEVATION - EAST
18" = 1'-0"
RE: 01/A102

2 BUILDING B - ELEVATION - SOUTH
18" = 1'-0"
RE: 01/A102



2 BUILDING B - ELEVATION - SOUTH
18" = 1'-0"
RE: 01/A102

1 BUILDING B - ELEVATION - WEST
18" = 1'-0"
RE: 01/A102



3 BUILDING B - ELEVATION - EAST
18" = 1'-0"
RE: 01/A102

**NOT FOR
CONSTRUCTION**

FINAL DEVELOPMENT PLAN
06 September, 2019

Scale: As Shown

Description:

ELEVATIONS - BUILDING
B2

A202

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**PRAIRIE FIRE
DEVELOPMENT
GROUP**
SCHOOLYARD TOWNHOMES
Tonganoor, KS

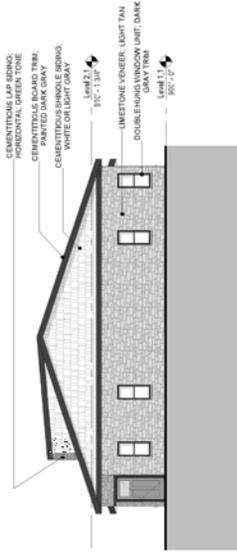


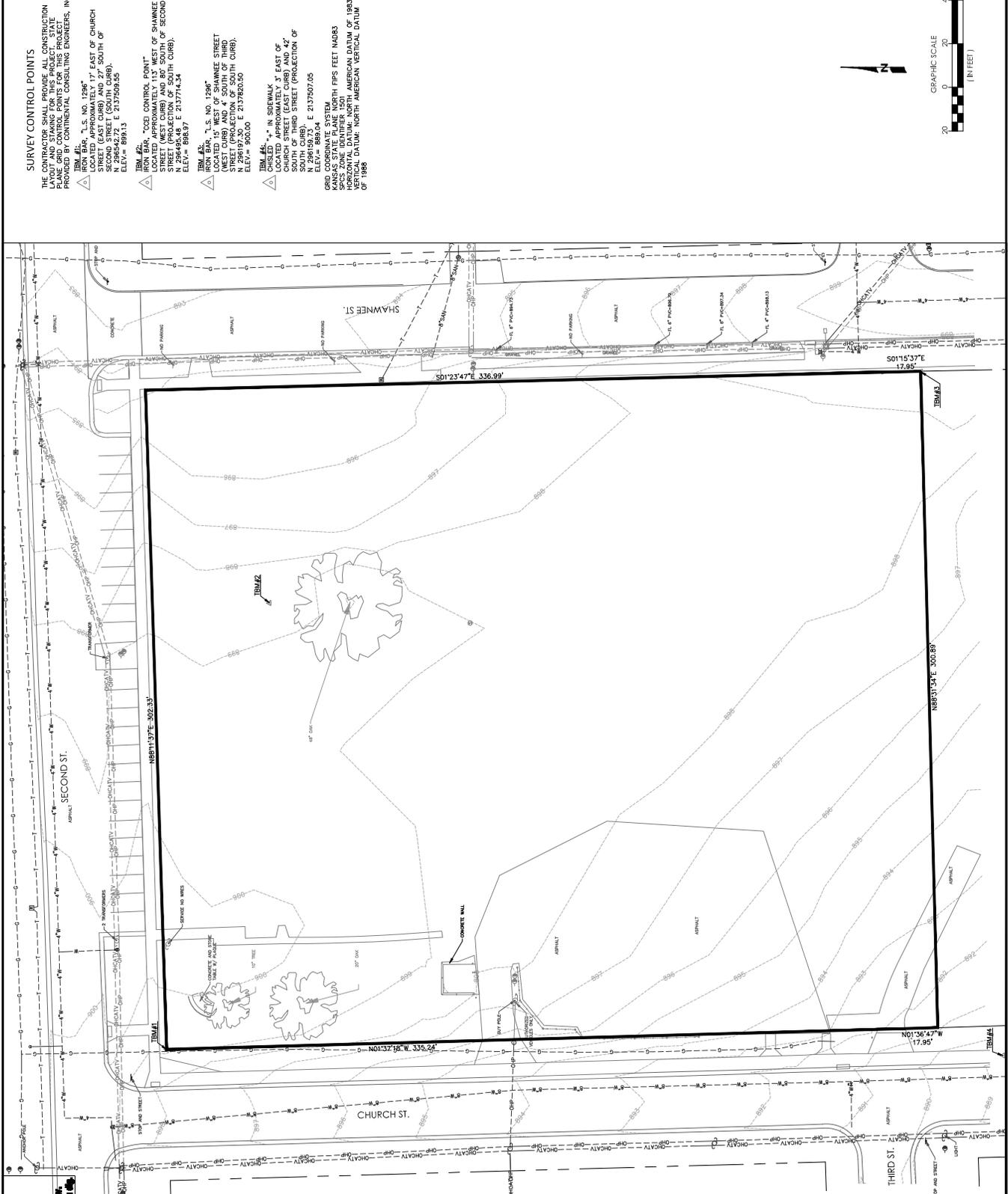
ARCHITECT
1715 N. GARDENWAY, J4
711 E. 48th STREET
KANSAS CITY, MISSOURI 64118
816.451.1111
www.odimo.com

CREATIVE ENGINEERING
1008 PARKWAY
1008 PARKWAY, SUITE 100
KANSAS CITY, MISSOURI 64118
816.451.1111
www.creativeeng.com

STRUCTURAL ENGINEERING
ATIN PATRICK, PE
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KANSAS CITY, MISSOURI 64118
816.451.1111
www.atinpatrick.com

Date Description





SURVEY CONTROL POINTS
 THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION PLANE GRID CONTROL POINTS FOR THIS PROJECT PROVIDED BY CONTINENTAL CONSULTING ENGINEERS, INC.

IBM #1 "A" IN SIDEWALK
 LOCATED APPROXIMATELY 17' EAST OF CHURCH STREET (WEST CURB) AND 80' SOUTH OF SECOND STREET (SOUTH CURB).
 N 298°42'27" E 217509.55
 ELEV. = 895.13

IBM #2 "C" CONTROL POINT
 LOCATED APPROXIMATELY 113' WEST OF SHAWNEE STREET (WEST CURB) AND 80' SOUTH OF SECOND STREET (SOUTH CURB).
 N 298°45'48" E 217774.34
 ELEV. = 886.97

IBM #3 "S" NO. 1286
 LOCATED APPROXIMATELY 15' WEST OF SHAWNEE STREET (WEST CURB) AND 4' SOUTH OF THIRD STREET (SOUTH CURB).
 N 298°19'30" E 217820.04
 ELEV. = 900.00

IBM #4 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #5 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #6 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #7 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #8 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #9 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

IBM #10 "S" IN SIDEWALK
 LOCATED APPROXIMATELY 15' EAST OF CHURCH STREET (EAST CURB) AND 42' SOUTH OF THIRD STREET (PROJECTION OF 2' SIDEWALK).
 N 298°59'37" E 2177507.05
 ELEV. = 889.04

PRAIRIE FIRE DEVELOPMENT GROUP

SCHOOLYARD LOFTS
 Tonganoxie, KS



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 JAMES W. SCHWENK, AIA
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 jschwensk@odima.com

CIVIL ENGINEER
 CLYDE W. HENNING
 1108 PAWLETTA HWY
 TONGANOXIE, KS 64687
 816.262.2424
 cwhenning@odima.com

STRUCTURAL ENGINEERING
 ATIN PAI, P.E.
 1950 LOCUST STREET
 KANSAS CITY, MO 64108
 atin@spaceng.com

Issue	Description

Issue

FINAL DEVELOPMENT PLAN
 25 October, 2019

Seal Signature

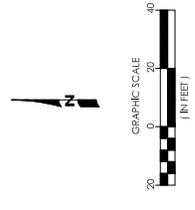
NOT FOR CONSTRUCTION

Description

Existing Survey

C1.1

6/2019 odima



PRAIRIE FIRE DEVELOPMENT GROUP

SCHOOLYARD LOFTS

Tonganoxie, KS



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 201 E. 93RD STREET
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 info@odimo.com

CIVIL ENGINEER
 11000 PAOLI LANE
 OVERLAND PARK, KS 66210
 913.262.2442
 H@odimogroup.com

STRUCTURAL ENGINEERING
 ATTN: PAUL SAVA, PE
 2000 W. 10TH STREET
 KANSAS CITY, MO 64108
 paul@paulsavagroup.com

Date	Description
25 October, 2019 <td>FINAL DEVELOPMENT PLAN </td>	FINAL DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

Site Plan
 C2.0

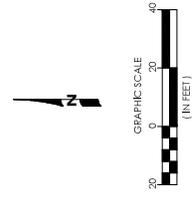
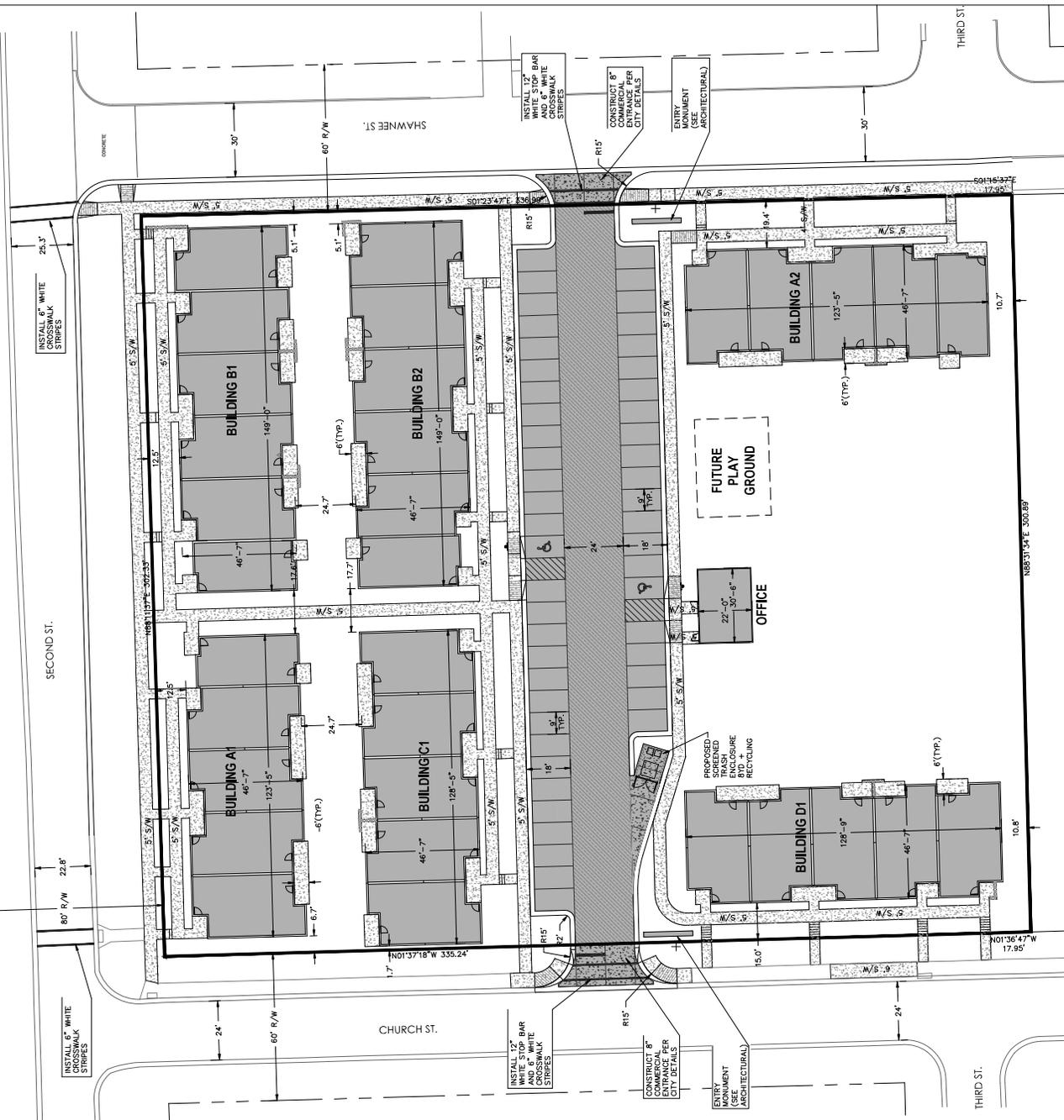
- LEGEND**
- 6" STANDARD DUTY ASPHALT
 - 8" HEAVY DUTY ASPHALT
 - 8" CONCRETE
 - 4" CONCRETE SIDEWALK/PATIO

PROPOSED ZONING R-MF-2P
 (PLANNED MULTIPLE FAMILY 2 DISTRICT)

EXCEPTIONS TO BASE ZONING FOR FRONT, SIDE AND REAR YARD SETBACKS, INCLUDING PARKING ALONG 2ND STREET IN TOTAL.

DWELLING UNITS: 32 EA
 OFFICE: 500 SF
 TOTAL REQUIRED = 51
 TOTAL PROVIDED ONSITE = 51

PARKING REQ'D 1.5/UNIT = 48
 1/2000 SF = 3



PRAIRIE FIRE DEVELOPMENT GROUP

SCHOOLYARD LOFTS

Tonganoxie, KS



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 ODOMO ARCHITECTS
 2116 E. 93RD STREET
 KANSAS CITY, MISSOURI 64110
 oadimo@odimo.com

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 ODOMO ENGINEERING
 11088 PAWLETTA HWY
 CLINTONVILLE, MISSOURI
 64005-2422
 info@odomoe.com

STRUCTURAL ENGINEERING
 ATHA PAZ SPTA, PE
 1501 W. 10TH STREET
 KANSAS CITY, MO 64108
 paza@odomoe.com

Date	Description
25 October, 2019	FINAL DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

Utility Plan

C4.0

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SITE UTILITY NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF SANITARY SEWER SERVICE LINES. ALL SANITARY SEWER SERVICE LINES SHALL BE 8" SDR35 PIPED PVC. SANITARY MAIN PIPING SHALL BE 8" SDR35 PIPED PVC. SANITARY MAIN SHALL BE 8" SDR35 PIPED PVC. SANITARY MAIN SHALL BE 8" SDR35 PIPED PVC.
- STORM 6" AND LARGER SHALL BE HDPE N-12 FROM MAIN INTO AND THROUGH VAULTS.
- WATER 6" AND LARGER SHALL BE HDPE N-12 FROM MAIN INTO AND THROUGH VAULTS.
- ALL WATER LINES AFTER METER/PACKFLOW SHALL BE AS FOLLOWS:
 - 3" AND LARGER CLASS 50 DUCTILE IRON PIPE OR PVC SDR 21 CLASS 200
 - 2" AND LARGER MAY BE CLASS 50 DUCTILE IRON PIPE OR PVC SDR 21 CLASS 200
 - MINIMUM TRENCH WIDTH SHALL BE 12 INCHES
 - ALL WATER LINES SHALL BE KEPT TEN (10) FT APART (PARALLEL) FROM SANITARY SEWER LINES OR MANHOLES. A 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO TOP OF SANITARY SEWER) SHALL BE MAINTAINED AT ALL TIMES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES OR DRAIN LINES, THE WATER LINES SHALL TAKE PRECEDENCE.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR EXACT TIE-IN LOCATIONS OF ALL UTILITIES.
 - ALL UTILITIES SHALL BE KEPT TEN (10) FEET APART (PARALLEL) FROM SANITARY SEWER LINES OR MANHOLES. A 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO TOP OF SANITARY SEWER) SHALL BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES AND DOTS WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR RELOCATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
 - ALL JOINTS SHALL BE FUSED. (CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON FIELD LOCATED MARKS FROM THE UTILITY COMPANIES. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION.)
 - MEASUREMENTS FOR HORIZONTAL LOCATION AND DEPTH WERE TAKEN IN THE FIELD FOR STORM AND SANITARY SEWER ONLY (SEE LEVEL A).
 - ALL UTILITIES SHALL BE KEPT TEN (10) FEET APART (PARALLEL) FROM SANITARY SEWER LINES OR MANHOLES. A 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO TOP OF SANITARY SEWER) SHALL BE MAINTAINED AT ALL TIMES.
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 - MEASUREMENTS FOR HORIZONTAL LOCATION AND DEPTH WERE TAKEN IN THE FIELD FOR STORM AND SANITARY SEWER ONLY (SEE LEVEL A).

LEGEND

—	EXISTING WATER
—	EXISTING FIRE HYDRANT / VALVE
—	EXISTING OVERHEAD POWER
—	EXISTING UNDERGROUND POWER
—	EXISTING STREET LIGHT
—	EXISTING COVER POLE
—	EXISTING SANITARY SEWER
—	EXISTING SANITARY MANHOLE
—	EXISTING COMPRESSED AIR LINE
—	EXISTING STORM SEWER
—	EXISTING STORM MANHOLE
—	EXISTING CABLE TV
—	EXISTING UNDERGROUND TEL
—	EXISTING OVERHEAD TEL
—	EXISTING FIBER OPTIC
—	EXISTING FENCE LINE
—	PROPOSED UNDERGROUND ELEC.
—	PROPOSED WATER
—	PROPOSED FIRE HYDRANT / VALVE / TEL
—	PROPOSED OVERHEAD POWER
—	PROPOSED GAS LINE
—	PROPOSED STORM SEWER
—	PROPOSED SANITARY SEWER
—	PROPOSED IRRIGATION
—	PROPOSED SECURITY CAMERA
—	PROPOSED DATA AND POWER

UTILITY CONTACTS:

- CLIMATE ENERGY (WESTAR ENERGY)
- RESS HAMMER 786-869-4857
- CITY OF TONGANOXIE 913-845-2820
- CITY OF TONGANOXIE 913-845-2820
- SANITARY AND STORM SEWER: ONEGAS 800-794-4780
- TELEPHONE / INTERNET 800-888-1300
- ATT (REGISTRATION, RICK THOND) 866-457-0777
- ATT (NEW SERVICE, JENNIFER TAYLOR) 913-727-1342
- DIRECT TV 877-433-3403



SITE PLAN REVIEW APPLICATION
City of Tonganoxie, Kansas

Please complete all of the following information (type or print):

Project Name: Schoolyard Lofts
Project Address/Location: Between 2nd and 3rd Street and between Church and Shawnee Streets
Description: New Construction Addition Exterior Remodel Tenant Finish
Other: _____

Send Review Comments To:

Contact Person: Brian Lavery, P.E.
Company Name: Continental Consulting Engineers
Address: 9000 State Line Road
City, State Zip: Leawood, KS 66206
Phone Number: 913-642-6642 x213 Fax Number: 913-642-6941

Owner/Developer (If different from above):

Contact Person: Jason Swords
Company: Schoolyard Townhomes, LLC
Address: 1125 Grand Blvd Suite 202
City, State Zip: Kansas City, MO 64106
Phone Number: 816-581-3992 Fax Number: _____

- Site Plan--buildings, walls, fences, exterior equipment, refuse disposal
- Landscape plan w/schedule
- Drainage calculations for City Engineer
- Elevations showing materials, colors, textures, etc.

Date Submitted: _____ Fee Paid: _____ Received by _____

***It is the responsibility of the Applicant to read and comply with all of the regulations contained in the Site Review Ordinance. Applicant should anticipate a minimum 2 week review period by City staff. Any revisions required will require additional review time.**

CITY OF TONGANOXIE
Site Review Checklist

- ✓ Application and fee
- ✓ Projected review period and process--proposed meeting date(s) Nov 7, 2019 PC, Dec 2 CC
- ✓ Goals of the Site Review Board: **(Section 1.1)**
 - Compatibility both on the site and in the neighborhood--building arrangement and appearance, parking, access, lighting, & landscaping
 - Traffic--streets & sidewalks designed for safe movement of vehicles and pedestrians?
 - Landscaping--does the site present a pleasant public appearance, is sufficient screening & buffering provided? Location?
 - Drainage--will the improvements to the site affect the amount of water leaving the site during and after a storm? If so, how do you plan to mitigate this problem?

Preliminary Planning Meeting (Section 1.3.1)

- ✓ Site sketch
- ✓ Information concerning site and adjacent areas--contours, topography, floodplain, existing and proposed improvements, streets, driveways, drainage areas, fire hydrants

Submittal Materials (Sections 2.0, 3.0, 4.0)

- ✓ Completed application form and fee
- ✓ Engineered Stormwater Plan **(Section 1.4.5)**
- ✓ Sufficient drawings to clearly depict all requirements of plan
- ✓ Projected timeline **Begin Jan 1, 2020, complete Mar 1, 2021**

Stormwater Plan - Contact Brian Kingsley at BG Consultants, (785) 749-4474 for city standards concerning stormwater calculations.

Drawings (may be separate or combined)

- ✓ Site Plan **(Section 2.0)**
 - Site boundary dimensions/bearings
 - Legal description
 - On-site and adjacent streets, drives, entrances, sidewalks, medians, turning lanes, etc with widths and curb cuts.
 - Existing and proposed structures/improvements and significant vegetation (dimension)
 - Label all improvements
 - Stormwater detention areas
 - Exterior refuse and mechanical equipment locations
 - Signs--size and location
 - Loading and service areas
- ✓ Grading Plan showing finish grades/contours at 2 foot intervals **(Section 2.1.3)**
- ✓ Exterior lighting and sound--location, height and intensity of fixtures/lamps/speakers **(Section 2.1.8-9)**
- ✓ Landscaping Plan--location & schedule of landscaping materials (plants, structures, fences, walls, etc.) **(4.0)**
 - Contributes to the aesthetic appearance of site
 - Plan safeguards the natural environment
 - Provides sufficient buffering and screening
- ✓ Elevations--materials, dimensions, design, windows, doors **(Section 3.0)**
- ✓ Material samples **(Section 3.4)**
- ✓ CBD/Downtown Design Standards **(Section 3.8)**

NOTE: This is not a comprehensive list. Please refer to the Site Review Regulations for a complete explanation of the above items. Normally, bid drawings will contain all the needed information except for stormwater calculations



The Special Use Permit application submitted for 702 E 4th Street has been continued to a future date TBD in the Council Chambers, located at 321 S Delaware Street.

MEMO

To: George Brajkovic, City Manager
City of Tonganoxie

Cc: Dan Porter, Asst. City Manager
Kent Heskett, City Superintendent
Joe Herring, Herring Surveying

From: Brian Kingsley, City Engineer

Date: October 11, 2019

Re: Saunders Estates Subdivision
Preliminary Plat and Final Plat
19-1001L

The following are the City Engineer and staff review comments related to Engineering issues:

Preliminary Plat:

- 1) The Planning Commission's motion included the following language regarding access from Smiley Road:

Access to the 4 lots on Smiley Road shall be subject to review and approval by the City Engineer, and generally be consolidated to two points. Options to explore include shared drives between two lots, access from the proposed side street to the south of the property, access from a shared "frontage lane" connecting all lots with a common access drive, or combinations of these or similar strategies.

It appears that the proposed access shown on the plats includes 3 points of access to Smiley Road.

- 2) The preliminary plat does not contain the required content (proposed infrastructure).
 - a. A stormwater management plan dated October 9th, 2019 has been submitted and meets the requirements of the City Regulations.
 - i. Existing and proposed contours are a requirement for the preliminary plat content. The applicant has requested that the requirement to show proposed contours be waived for the preliminary plat. The applicant proposes to address the proposed contours with construction plans to be submitted if a variance is

not granted by the City Council to waive the requirement for storm water detention.

Recommendation: To be consistent with City Planning Commission requirements, I recommend that the City require no direct access from Lot 1 to Smiley Road and require construction of storm water detention as per the City regulations.

Final Plat:

Recommendation: I recommend approval of the Final Plat contingent upon meeting recommendations above for the Preliminary Plat and contingent upon submitting construction plans for the storm water detention.

--END

For questions or comments, please contact:

Brian Kingsley, PE

President

T: 785.749.4474 ext. 2105

E: brian.kingsley@bgcons.com



City of Tonganoxie, Kansas

PLANNING STAFF REPORT

Case#: 2019-008P Reconsideration of Application for Preliminary Plat and Final Plat

Date of Report: November 4, 2019

Applicant Name: Jack Willis, South Park Development

Property Owner Name: South Park Development Company, LLC

Subject Property Address: 520 Smiley Road

Application:

Zoning District: R-R Rural District and R-SF Single Family District

Type of Approval Desired: Preliminary and Final Plat

Date of Application: June, 2019

Date of Meeting: August 1, 2019

Surrounding Property – Zoning and Use:

West: RR-2.5 (unincorporated Leavenworth County), undeveloped wooded lot; and R-R, house on remnant parcel that was part of previous rezoning application

South: R-SF – 3 single family lots (approximately .5 acres), 2 single-family lots (approximately 1-2 acres), and 1 remnant lot (approximately 15 acres)

East: R-R and R-SF– 4 single-family lots (approximately 1 acre), 1 large remnant parcel, church

North: R-SF and R-R – 17 single-family lots (approximately 7,000 – 12,000 square feet), 4 remnant parcels (approximately 2 to 10 acres)

UPDATE:

This item is a reconsideration of a previous Planning Commission approval. It is based on changes proposed by the applicant since the Planning Commission Action. This cover page includes an outline of the issues before the Planning Commission on reconsideration. The following pages are for background only, and include the original staff report associated with the August 2019 submittal. Staff will be prepared to answer any specific questions at the November 7, 2019 meeting.

Reconsideration of Application for Preliminary Plat and Final Plat – Saunders Estates

August 1, 2019 Planning Commission Consideration

The staff report recommended approval of the preliminary and final plat subject to the following conditions:

1. The final plat be revised prior to city signatures and recording to show restricted access on all lots – limited to two access points on Smiley Road, and that all access points be approved by the City Engineer prior to construction.
2. A storm water management plan and engineer study be submitted for review by the City engineer prior to any construction on any lots, and that any necessary detention shall be noted on the plat prior to signatures and recording, or other similar documentation prepared by a licensed professional engineer and approved by the City Engineer is recorded with the plats.
3. The final plat be revised prior to city signatures and recording to show all building lines applicable to the R-SF zoning on each of the lots.
4. Sanitary sewer construction plans may be required in association with future construction documents or building permits, as indicated in the City Engineer comments (July 23, 2019)
5. The remainder of the property (outside of the 4 platted lots) shall remain subject to the R-R zoning district standards, and any future development on this property shall require review according to the rezoning and platting procedures and criteria at that time.

Access

Following discussion, a motion was made to approve the application in conjunction with staff's recommendations, while amending staff recommendation #1 to allow for two new access points, for a total of 3, off Smiley Road. This motion was not carried by a vote of 2 ayes and 2 nays.

After additional discussion, a motion was made to approve the application in conjunction with staff's recommendations numbered 2-5, while making an adjustment to add a 60' access corridor between lots 1 and 2.

Storm Water Detention Construction Plans

Prior to consideration of the final plat by the City Council, the applicant notified City staff that a waiver was requested for the requirement in the City regulations to complete and submit storm water detention construction plans for the project. The preliminary and final plat application is now being brought back before the Planning Commission for consideration of this request.



Chris Brewster
Contract City Planner

I. SUMMARY:

In March, 2019 this property was subject to a proposed rezoning from R-R to R-SF. At that time, staff recommended that the applicant only rezone the front portion of the property, since there was no intention to plat or develop the entire property. The applicant preferred to submit a request to rezone the entire 19 acre parcel. The staff report for the previous application recommended approval, subject to a condition that a preliminary plat and conceptual street network plan for the entire property be created, and that this be shown at the time of preliminary or final plat. Staff's rationale for this condition is that once the property is officially rezoned, future plats simply need to meet the City standards and they should then be approved. Many different utility, street, and lot configurations are possible under the R-SF zoning designation that would technically meet the subdivision regulations; several of which would not be appropriate for this area and could negatively impact transitions, future planning and potential development on adjacent sites. Therefore, it was not possible to fully understand the potential impacts of rezoning the remainder of the property without at least a conceptual street network, with block and lot layouts. The Planning Commission recommended approval of the rezoning subject to the condition of a conceptual street network for the entire property being submitted with the preliminary plat, and the City Council approved this action on April 1, 2019.

The applicant has not submitted a conceptual street network for the entire property, and there is no intention to develop this property at this time. The condition for the rezoning of the rear portions of this lot have not been fulfilled, and the property should remain as zoned prior to the previous application (R-R). Any development of the west portions of the property should be subject to the full rezoning procedures and considerations at that time, including the requirement for a street network demonstrating capacity for utility plans, block and lot layouts and other issues impacting potential planning and development on this and adjacent property.

The current application is a preliminary and final plat for the 4 lots that were originally intended for development as part of previous rezoning application. The proposed preliminary and final plat fulfills the conditions of rezoning for this portion of the property.

II. ANALYSIS

Section 3.3 provides that the Planning Commission shall review preliminary and final plats to find conformance with the requirements of the subdivision regulations. Section 4.1 and 4.2 of the Tonganoxie Subdivision Regulations include the following subdivision design standards – the ones in bold are applicable to this application and with staff comments below:

- a. **Acreage subdivision** (potential for re-subdivision or logical arrangement of lots of "acreage lots" and / or undeveloped portions.)
- b. **Relation to adjoining street system.**
- c. Streets in relation to railroads
- d. Major Street classifications
- e. Minimum roadway and right-of-way width.
- f. cul-de-sac and dead end streets
- g. private streets and reserve strips.
- h. **Restriction of access.**
- i. Street grades.
- j. Intersections and geometrics.
- k. Street names
- l. **Drainage.**
- m. **Stormwater detention plans.**
- n. Blocks.

- o. **Lots.**
- p. **Building lines**
- q. **Underground wiring.**

The design standards require subdivisions – particularly those with large lots or remnant parcels to show the opportunity for re-subdivision and future streets. The easement to the south boundary of this property would provide a potential for street access to the property to the west in the event of future development. As indicated in the summary, in the event of future development of this area, this condition and design standard would need to be reconsidered for the remainder of the property at that time, subject to all of the applicable rezoning, preliminary and final plat procedures and criteria. (4.01.a and b.)

The rezoning in April, 2019 was conditioned on restricted access to Smiley Road, to be further identified and approved by the City Engineer at the time of platting. The plat shows no access on Smiley Road for the southernmost lot. This lot will likely get access from the easement and existing driveway. However, the other 3 lots do not show specific access or access restrictions. Per the previous rezoning conditions and the City Engineer comments on this application, (July 23, 2019), only two access points shall be allowed on Smiley Road. Therefore, the plat will need to be amended to show specific access points and/or include a note showing that access is restricted to two points, which must receive City Engineer approval (4.01.h)

A stormwater management plan and engineering study by a professionally licensed engineer is required by the regulations, and as noted in the City Engineer comments (July 23, 2019). The City may waive any requirements based on the study demonstrating to the City Engineer’s determination that no issues will arise from potential development of the site. Otherwise detention deemed necessary by that plan shall be included on the plat prior to signatures and recording. (4.01.l and m.; and Article 9, Section 5. Stormwater Detention Plan)

The four lots all meet the standards of the R-SF zone and they will allow for appropriate building sites according to the zoning district standards. The final plat shows the front building lines, and by default the side building lines (which correspond to the easements). However it does not include the applicable rear building line which should be added prior to recording of the final plat. The applicable building lines for the R-SF district are: 30-feet front setback; 10 feet side setback; 30-feet rear setback. (4.01.o. and p.; 4.02.c; and 5-014 of the zoning ordinance)

III. EFFECT OF DECISION

The Planning Commission approves preliminary plats, recommends final plats to the Governing Body for acceptance of any dedicated easements. Due to the routine nature of this particular application, the preliminary and final plat are submitted concurrently, as permitted in the subdivision regulations. Based on the record and other findings, the Planning Commission may:

1. Approve / recommend approval,
2. Approve / recommend approval with conditions
3. Deny / recommend denial of the plat.

Subsequent to any approval of a preliminary and final plat, the applicant may record the plat with the county, and any development will require construction drawings and permits, reviewed by staff subject to all applicable city codes.

IV. RECOMMENDATION.

Staff recommends approval preliminary plat, subject to the following conditions. If the Planning Commission elects to recommend approval of the final plat, a storwater management plan / engineer study will need to be approved by the City Engineer and approval of the final plat should be limited to these same conditions.

1. The final plat be revised prior to city signatures and recording to show restricted access on all lots – limited to two access points on Smiley Road, and that all access points be approved by the City Engineer prior to construction.
2. A storwater management plan and engineer study be submitted for review by the City engineer prior to any construction on any lots, and that any necessary detention shall be noted on the plat prior to signatures and recording, or other similar documentation prepared by a licensed professional engineer and approved by the City Engineer is recorded with the plats.
3. The final plat be revised prior to city signatures and recording to show all building lines applicable to the R-SF zoning on each of the lots.
4. Sanitary sewer construction plans may be required in association with future construction documents or building permits, as indicated in the City Engineer comments (July 23, 2019)
5. The remainder of the property (outside of the 4 platted lots) shall remain subject to the R-R zoning district standards, and any future development on this property shall require review according to the rezoning and platting procedures and criteria at that time.



Chris Brewster
Contract City Planner



CITY OF TONGANOXIE, KS ZONING MAP

Zoning Classification

- Rural
- Res. Estate
- Single Family
- Multi-Fam. 1
- Multi-Fam. 2
- Multi-Fam. 3
- Manuf. Home Pl.
- (PUD-R)Planned Res.
- (HBD)Historic Bus.
- Ltd. General Bus.
- General Bus.
- (PUD-C)Plan. Comm.
- Bus. Park
- Light Ind.
- Med. Ind.
- Heavy Ind.
- Community Util. Pln.
- Unincorporated
- R-1 Infil. Dist.
- City Limits

Revisions:
 Date: April 22, 2014
 Last Ordinance: 1383



Source Data: Map Layers were obtained from Leavenworth County, Kansas GIS Department. The map was created in Arc GIS 10.1 from the official AutoCAD map created and maintained by SO Engineers.



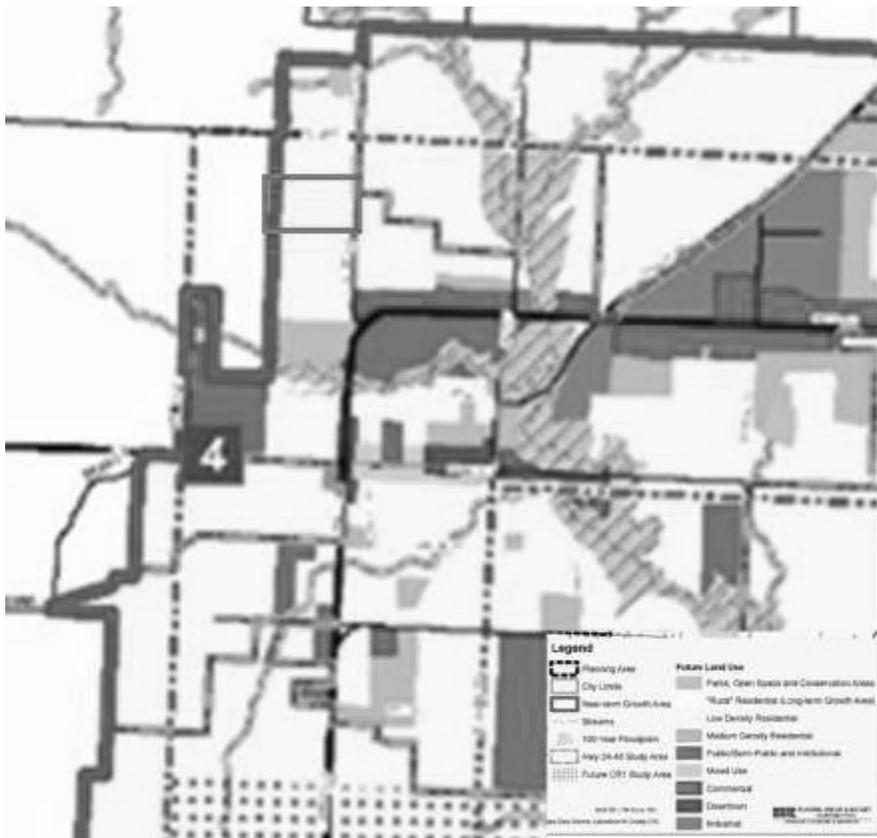
Current City Zoning (property in red box now zoned RR)



Vicinity



Property



Future Land Use (Tonganoxie Comprehensive Plan 2006)

CITY OF TONGANOXIE, KANSAS

APPLICATION FOR PRELIMINARY PLAT AND FINAL PLAN APPROVAL

Requested Action	Fee Paid	Date Rec'd	Date Published	Hearing Date
<input checked="" type="checkbox"/> Preliminary Plat	_____	_____	_____	_____
<input type="checkbox"/> Street & Storm Sewer Plan	_____	_____	_____	_____
<input type="checkbox"/> Sanitary Sewer Plan	_____	_____	_____	_____
<input type="checkbox"/> Waterline Plan	_____	_____	_____	_____
<input checked="" type="checkbox"/> Final Plat	_____	_____	_____	_____
<input type="checkbox"/> Site Plan	_____	_____	_____	_____
<input type="checkbox"/> Landscaping Plan	_____	_____	_____	_____

Name of Development SANDERS ESTATES

General Location N 1/2 SE 1/4 SE 1/4 Sec. 5-11-21

Applicant:

Name: JACK WILLIS Contact: _____

Address: 520 SMILEY RD.

Phone/Fax: _____

E-mail address _____

Owner Developer:

Name: SOUTH PARK DEVELOPMENT Contact: _____

Address: _____

Phone/Fax: _____

E-mail Address _____

Engineer: SURVEYOR

Name: HERRING SURVEYING Contact: JOE

Address: 315 N. 5TH ST. LV KS 66048

Phone/Fax: 913-651-3858

E-Mail Address survey@teamcash.com

SUBDIVISION INFORMATION:

• Gross acreage of plat: 20

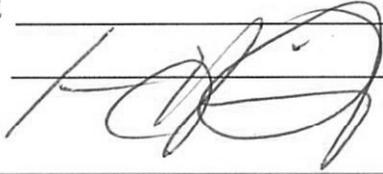
• Total number of lots: 4

Residential Business _____ Industrial _____ Other _____

• Existing zoning R-SF Proposed zoning _____

THE owner herein agrees to comply with the subdivision regulations for Tonganoxie, as amended, and all other pertinent ordinances or resolutions of Tonganoxie, and statutes of the State of Kansas. The undersigned further states that he is the owner of the proposed for platting.

OWNER'S SIGNATURE _____

A handwritten signature in black ink, appearing to be 'H. D. ...', written over two horizontal lines.

OFFICE USE:

RECEIVED BY _____

Date _____ Fee Submitted _____

\$ 520
220

\$ 740

GENERAL INFORMATION

This general checklist is provided only to aid the understanding of the plat and plan approval process. The plat and plan approval process is detailed in the subdivision regulations. The subdivision regulations are available online at www.tongie.org or at City Hall. It is the responsibility of the applicant and/or his representative to meet all of the regulations applicable to this subdivision.

The Tonganoxie Planning Application and Review Schedule will be followed to allow time for staff review and a public hearing. A public hearing on the proposed plat will be held before the Planning Commission. When a plat is submitted, public notice must be published in the official paper of Tonganoxie, Kansas, giving the name of the subdivision, owner, legal description, location and approximate acreage.

Approval of the Preliminary Plat does not constitute final approval or acceptance of the subdivision by the City Planning Commission or authorization to proceed with the construction of improvements within the subdivision, but shall constitute approval of the general layout.

The approval of the Preliminary Plat shall only be effective for one (1) year, unless the Planning Commission grants an extension. The Planning Commission may not grant an extension for a period in excess of one (1) year. If the final plat has not been submitted for approval within this period, a Preliminary Plat must be re-submitted for Planning Commission approval.

When the Final Plat has been approved by the City Council, the developer shall supply 3 copies of the plat on reproducible drafting film and 11 blue-line copies for proper signatures. The developer is responsible for filing the Final Plat with the Register of Deeds in Leavenworth County.

After receiving the recorded final plats and a performance bond or irrevocable letter of credit from the developer, he may proceed with the installation and construction of the required improvements. Building permits will be issued after improvements have been completed and approved by the City Engineer.

The developer shall file performance and maintenance bonds with the City.

As built plans, profiles and cross sections of the required improvements shall be filed with the City Engineer.

See complete information in the Subdivision Regulations:

Section S-2 Preliminary Plat Procedure and Content

Section S-3 Final Plat Procedure, Content, and Action by the Planning Commission

Section S-4 Minimum Subdivision Design Standards & General Requirements

Section S-5 Improvements and Improvement Plan

Site Plan Review Standards and Site Review Committee

Preliminary Plat Checklist

- Submit a minimum of 6 copies
- Current Title Report - no more than 3 months old & a certificate of title verifying ownership no more than 30 days old
- Review: See Planning Application & Review Schedule for submittal dates. Staff review will include Planner, Administrator, City Superintendent, Engineer, Fire Chief, Police Chief and Building Inspector
- Fee: See Application Fee schedule for current fee amounts as established by the City Council. Costs incurred by the city for review of revised plats will be billed to the applicant.
- Checklist:
 - Clearly marked "Preliminary Plat"
 - Name of subdivision (If replatting, original plat must be referenced in title)
 - Name & address of owner, and name, address and registration of the engineer and/or surveyor preparing the plat
 - Surveyor's seal, signature & date--see KS Minimum Standards for Boundary Surveys
 - Date completed, Scale, North point, Key map
 - Legal description--including section, township, range and meridian
 - Drawing to scale of platted area, dimensioned and tied to at least 2 section corners
 - Contours at a minimum of 2 foot intervals
 - Names and location of adjacent owners and subdivisions
 - Location and dimension of property lines, streets, alleys, easements, buildings, utilities, watercourses and other items that will affect the plat
 - Existing & proposed zoning
 - Location and elevation of 100 year floodplain and floodway boundaries
 - Layout, number and dimensions of proposed lots and building or setback lines
 - Location, width & dimensions of all lands proposed for dedication to public use including easements
 - Proposed names for streets
 - New utilities--method and timeline for all installations proposed, 3 copies of preliminary layouts of the street paving and all utility lines and all appurtenant work such as manholes & fire hydrants, utility lines and power poles
 - Written & signed statements from City-County Health Department stating approval of lot sizes and type of sewage system if not connecting to the city sewer system.
 - Written & signed commitments of utility availability from appropriate Utility officials gas, electric, telephone, water, cable.
 - Restrictions proposed for the plat in the Owner's Declaration of Plat.

Final Plat Checklist

Submit a minimum of 4 copies of the Final Plat, 1-11x17 copy, 1 address map, with required signatures and professional certifications for review by the Planning Commission.

- Review: See Planning Application & Review Schedule for submittal dates. Staff review will include Planner, Administrator, City Superintendent, Engineer, Fire Chief, Police Chief and Building Inspector
- Fee: See Application Fee schedule for current fee amounts as established by the City Council. Costs incurred by the city for review of revised plats will be billed to the applicant.
- Checklist:
 - Clearly marked with legal description
 - Boundary lines marked with accurate distances & angles
 - Mark highways, streets, alleys with width and names
 - Outline of property dedicated for public use
 - Lines of departure from one street to another
 - Lines adjoining property and lines of adjoining streets with width & names
 - All lots designated by numbers or letters
 - All streets avenues and other grounds by names , letters or numbers
 - Location & widths of building lines on front & side streets
 - Location & widths of utility easements, easements for future construction and easements for drainage purposes.
 - All dimensions both linear & angular for locating boundaries
 - The radii, arcs, chords, points of tangency and central angles for all curvilinear streets and radii for rounded corners
 - Location and description of survey monuments and bench marks
 - Subdivision name, Clearly marked as Final Plat, Points of compass, and names of every owner or subdividers
 - Reference to Private restrictions and trusteehips if on a separate instrument
 - Plat Restrictions, dedication of public use, granting of easement acknowledged by owners
 - Signature lines & verification of owners
 - Signature lines for Land Surveyor or Licensed Professional Engineer of the State of Kansas
 - Signature lines for Chairman & Secretary of the Planning Commission
 - Signature lines for City Engineer
 - Signature lines for Mayor and City Clerk
 - Signature lines for Register of Deeds
 - Signature line for the County Surveyor
 - True north point, graphic scale, & date