



## **TONGANOXIE PLANNING COMMISSION**

**Agenda**

**October 3, 2019**

**7:00 p.m.**

**City Council Chambers**

**321 S. Delaware St.**

\*Note – This meeting may be transmitted via Facebook Live on the City of Tonganoxie page

### **CALL TO ORDER – Planning Commission Meeting**

1. **APPROVAL OF PC MINUTES** – September 5, 2019
2. **OPEN AGENDA** – In order to speak during open agenda, you must sign in **before the meeting**. Please give your name and address to the City Clerk or designee. Comments will be limited to 3 minutes. Please wait to be recognized by the Chair and before speaking **state your name and address** for the record.
3. **NEW BUSINESS**
  - No new business
4. **OLD BUSINESS**
  - a) Public Hearing – Preliminary Plat – Schoolyard Townhomes – Submitted by Schoolyard Townhomes, LLC.
  - b) Public Hearing – Variance – 834 E 4<sup>th</sup> Street – Submitted by Kelly Angell and Steve Trieb
  - c) **GENERAL INFORMATION**
    - 1) July and August 2019 Census New Construction Reports
    - 2) July and August 2019 Dodge Reports
    - 3) July and August 2019 KC Market Share Reports
    - 4) August 2019 Homebuilder's Association Report
6. **ADJOURN**



## Planning Commission Meeting Minutes

September 5, 2019

7:00 p.m. Regular Meeting

### CALL TO ORDER

- Chairman Morgan opened the meeting at 7:00 p.m.
- Roll Call: Planning Commissioners present were Chairman John Morgan, Vice Chairman Monica Gee, Patti Bitler, Zach Stoltenberg, Kevin Harris, Jake Dale and Crystal Harris. No Commissioners were absent. City Manager George Brajkovic, Planning Clerk Melanie Tweedy, City Planner Chris Brewster, City Attorney Anna Krstulic, and Assistant City Manager were also present.

### 1. APPROVAL OF PC MINUTES – August 1, 2019

- Ms. Gee motioned to approve the Planning Commission meeting minutes from August 1, 2019.
- Mr. Stoltenberg seconded.
- Vote of all ayes, motion carried.

### 2. OPEN AGENDA – In order to speak during open agenda, you must sign in before the meeting. Please give your name and address to the City Clerk or designee. Comments will be limited to 3 minutes. Please wait to be recognized by the Chair and before speaking state your name and address for the record.

- No members of the public wished to speak.

### 3. NEW BUSINESS

#### A) Swearing in of New Commissioners – Jake Dale and Patti Bitler

- Mr. Porter completed the swearing in of Jake Dale and Patti Bitler as Planning Commissioners.

#### B) Public Hearing - Rezone Application– R-SF (Residential Single Family) to R-MF2-P (Multi-Family II District with Development Plan) 304 Shawnee Street – Submitted by Schoolyard Townhomes, LLC

- Mr. Brajkovic delivered a presentation on the subject of the City of Tonganoxie’s strategic planning efforts and the timeline of steps related to the property proposed for rezoning.
- Mr. Brewster presented the Planning Staff report for the rezoning and preliminary plat.
- Jason Sword addressed the Planning Commission on the part of the applicant and
- Chairman Morgan opened the Public Hearing.
- Drew Overmiller, 121 E 2<sup>nd</sup> Street, Tonganoxie, KS 66086, addressed the Planning Commission and spoke in opposition to the project. He described perceived conflicting aspects of the staff report and the Comprehensive Plan and several variances that he
- Jason Sword commented that his group is committed to working with the neighborhood on design elements.

- Ashley Sadowski, Odimo Architecture, described the architectural aspects of the plans and building appearances, including similarities in design and materials to aspects of the neighborhood.
- Karen Seymour, 305 E 2<sup>nd</sup> Street, addressed the Planning Commission in opposition to the project. She expressed concerns with the number of units, parking availability, and traffic impacts.
- Jason Sword commented that the applicant will be able to post the project details online for review.
- Chairman Morgan closed the public hearing.
- Ms. Gee commented that she had heard from several people in the community that were in favor of the project
- Chairman Morgan added that he had heard about the project being multi-family zoning for a period of time since the school vacated the property but that he also had concerns with the setbacks being proposed.
- Mr. Stoltenberg commented about density of the project and stated that he has concern with the use of R-MF 2 in lieu of a less dense classification in light of the abutment of this parcel, though he was in favor of the proposed zoning.
- Mr. Sword commented that the density of the site is correct, but that he could do more adjustments relative to the
- Ms. Sadowski commented that single family housing costs were difficult to accommodate in a project of this size, so a townhouse feel gives more density but also an experience of walking down the street and seeing the neighbor's front door.
- Ms. Henson commented that the environment and lifestyle of Tonganoxie didn't support a project with this level of density and parking.
- Mr. Brewster commented that staff reviewed the standards of the R-MF 1 district and it didn't quite address.
- Mr. Harris commented that he didn't like the parking along 2<sup>nd</sup> Street and the existing parking
- Mr. Sword commented that he was willing to look at the parking plan again.
- Mr. Stoltenberg added that he had issues with the parking units being based on the per unit scale in the City's regulations, whereas some communities have adopted a per bedroom approach. He commented that he likes the concept of putting parking onto site in lieu of the on street parking, especially along 2<sup>nd</sup> Street.
- Mr. Sword commented that he was willing to go back and see what changes were possible.
- Mr. Morgan commented that he had concern with the scale of the buildings and proximity to the street in some cases.
- Mr. Stoltenberg shared that he was open to the 10-25 feet range from the street, but that he had concern with shorter setbacks.
- Ms. Henson commented that in general, the City's resources need to be considered when looking at new housing and new development.
- Mr. Stoltenberg stated that he was familiar with Jason and Sunflower Development and that he know the involved groups build a quality project.
- **Ms. Gee made a motion to approve the rezoning application from R-SF to R-MF 2-P with staff recommendations from the staff report.**
- **Mr. Harris seconded.**

- Mr. Stoltenberg asked if this motion allowed for adjustments to the project.
- Mr. Brajkovic shared that the first vote dealt with rezoning and the second.
- Chairman Morgan asked if the development was to be reworked would it apply to another developer.
- Ms. Krstulic confirmed that this rezoning was application specific.
- **Roll Call Vote: Yes – Stoltenberg, Harris, Bitler, and Gee. No – Dale, Morgan, Henson. Vote of 4-3, motion carried.**

C) Public Hearing – Preliminary Plat – Schoolyard Townhomes – Submitted by Schoolyard Townhomes, LLC

- **Mr. Stoltenberg made a motion to continue the item to the next Planning Commission meeting.**
- **Mr. Harris seconded.**
- **Vote of all ayes, motion carried.**

D) ITEM WITHDRAWN BY APPLICANT\* Public Hearing - Rezone Application– R-R (Residential Rural) to R-MF2-P (Multi-Family III District) 00000 West Street (5.15 Acres) – Submitted by Tomica and Ljubinka Cvetkovic

- Mr. Morgan stated that this item was withdrawn by the applicant due to

E) Public Hearing – Variance – 834 E 4th Street – Submitted by Kelly Angell and Steve Trieb

- Mr. Brajkovic commented that the applicant had noticed for a public hearing but that they didn't
- **Mr. Dale made a motion to continue the item to the next Planning Commission meeting.**
- **Mr. Stoltenberg seconded.**
- **Vote of all ayes, motion carried.**

#### 4. OLD BUSINESS

- Mr. Stoltenberg commented that based on recent codes discussion at the City Council he wanted to know more about what the
- Mr. Brajkovic
- Mr. Dale thanked the Planning Commission and the City Council for the support
- No other topics were discussed.

#### 5. GENERAL INFORMATION

- Ms. Tweedy commented that the residential building statistics were not available in time for the packet and they would be included at the October meeting.

#### 6. ADJOURN

- **Mr. Stoltenberg made a motion to adjourn the meeting.**
- **Mr. Dale seconded the motion.**
- **Vote of all ayes, motion carried.**
- **Meeting adjourned at 8:28 p.m.**

Respectfully submitted,

DRAFT



# MEMO

**To:** George Brajkovic, City Manager  
City of Tonganoxie

**Cc:** Dan Porter, Asst. City Manager  
Chris Brewster, City Planner, Gould Evans  
Melanie Tweedy, City of Tonganoxie  
Kent Heskett, City Superintendent  
Brian Lavery, PE, Continental Consulting Engineers, Inc.

**From:** Brian Kingsley, PE, City Engineer

**Date:** August 30, 2019

**Re:** Schoolyard Lofts  
Preliminary Plat  
19-1001L

The following are the City Engineer and staff review comments related to Engineering issues:

**Preliminary Plat:**

- 1) The Preliminary Plat does not show the proposed waterline and associated easements.
  - a. The proposed waterline has been coordinated with the City Superintendent and Fire Chief. Future submittals will include the waterline for review.
- 2) A Storm Water Drainage Study needs to be submitted concurrently with the Preliminary Plat.
  - a. The details associated with the Storm Water Drainage Study has been discussed with the applicant and storm water detention is not an anticipated requirement at this point. This will be verified by the Storm Water Drainage Study to be submitted.
  - b. Proposed grading for storm water exiting the site needs to be detailed/indicated on the Preliminary Plat.

- 3) Proposed modifications to adjacent Sidewalk, Curb and Gutter and Parking Areas in public right-of-way needs to be indicated on the Preliminary Plat.
  - a. The applicant has discussed this item with the City Superintendent but has not submitted details to date.

**Recommendation:** The City should consider approval of the Preliminary Plat contingent upon the above items being addressed.

--END

For questions or comments, please contact:

**Brian Kingsley, PE**

President

Direct: 785-727-7261

E: [brian.kingsley@bgcons.com](mailto:brian.kingsley@bgcons.com)



## City of Tonganoxie, Kansas

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### PLANNING STAFF REPORT

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**Case#:** 2019-006P – Schoolyard Townhomes Rezoning, Preliminary Plat, and Preliminary Development Plan

**Date of Report:** August 26, 2019

**Applicant Name:** Schoolyard Townhomes, LLC.

**Property Owner Name:** Tongie5 LLC, Kay Soetaert or Ben Robbins

**Subject Property Address:** 124 W. 1<sup>st</sup> Street, Tonganoxie, KS

**Application:**

*Zoning District:* R-SF

*Type of Approval Desired:* Rezoning from SF to RMF-2-P; Preliminary Plat; Preliminary Development Plan

*Date of Application:* August 7, 2019

*Date of Meeting:* September 5, 2019

**Surrounding Property – Zoning and Use:**

*West:* R-SF - Single-family homes

*South:* R-SF – Library (April 1, 2019 Site Plan review)

*East:* R-SF– Church and single-family homes

*North:* R-SF– Single-family homes

**Staff Recommendation:**

Recommend approval subject to specific conditions regarding the preliminary development plan and engineering review.

## I. SUMMARY:

This application proposes to rezone approximately 2.45 acres from “R-SF” Single-family District to “RMF-2-P” Multiple-Family 2 District, with a “P” designation to account for deviations from the development standards based on a specific plan. The site is the former Tonganoxie Elementary School, and the southern portion of the school site is being developed as the public library. A site plan for the library was approved by the Planning Commission at the April, 2019 meeting. This application proposes to build 32 town homes in 6 blocks of buildings – two of along 2<sup>nd</sup> street, one each along Church Street and Shawnee Street, and 2 along an internal drive and parking ally in the center of the site. The application is proposing a “P” designation to request specific deviations from the development standards based on the preliminary development plan. The deviations identified more specifically in the analysis include: [list generally]. The application is also accompanied by a preliminary plat and a preliminary development plan to be considered simultaneously with the rezoning.

## II.A ANALYSIS – REZONING FROM R-SF TO R-MF2-P; PRELIMINARY DEVELOPMENT PLAN

Rezoning applications must be reviewed against the following considerations as outlined by the City of Tonganoxie Zoning Ordinance, Section 27-011. Following each of the considerations are staff comments (in red italics text). However, since staff has not had the benefit of considering testimony provided during the public hearing, the Planning Commission should consider each factor and the analysis in conjunction with testimony at the hearing prior to acting on the application. No one factor is necessarily controlling, nor do all factors need to be clearly established, but rather they are to be considered in balance as an overall evaluation of the application.

### 1. Character of the neighborhood:

*The character of the surrounding area is primarily single-family residential in a “downtown neighborhood” context, proximate to small-scale civic, institutional and commercial uses, in a walkable context of well-connected blocks. There is a mix of style and sizes of homes throughout the neighborhood, but all share a common frontage relationship to the street that promotes a neighborhood scale. Most have a “street front” orientation with main street / storefront designs, even though they support a variety of different uses. This area transitions to industrial uses and development patterns immediately to the east (both sides of 4<sup>th</sup> Street) and to neighborhoods to the south and west. This location is a key corner at the entry to “downtown” and the downtown “main street” character and development pattern extends to the west.*

### 2. Zoning and uses of properties nearby:

*The surrounding property is zoned primarily R-SF with the HBD (historic downtown) nearby on blocks to the east, and LBD and GBD (limited and general business district) in a strip commercial pattern to the west on U.S. 24/40. This property reflects a transition from the property immediately to the south, zoned R-SF and used as the new library, approved by the Planning Commission in April. There are pockets of R-MF2 to the southwest and northeast within this “downtown neighborhood” pattern and character area.*

### 3. Suitability of subject property for the uses to which it has been restricted:

*This property has been vacant in recent years after the closing of the school, and the southern portion is being developed as a library. Though zoned for single-family houses, it has been*

*historically used as a school, and “block-scale” development partners have historically been on the site.*

4. Extent to which removal of the restrictions will detrimentally affect nearby property:

*The rezoning will allow moderate-density attached dwelling units on the site. Further, based on the preliminary development plan, the rezoning will require the buildings and uses to reflect the character of the neighborhood in the following ways:*

- o All buildings are fronting on the adjacent neighborhood streets and have neighborhood scale to them (predominantly 1.5 story elevations with 2-story accents; front entry areas and courts; no garages, driveways or parking on the frontages (other than existing on-street parking).*
- o Streetscapes will be enhanced by building frontages, landscape, sidewalks and street trees.*
- o Transitions to the new civic use of the library are provided.*
- o A concentration of dwelling units is introduced which can help support the civic and commercial uses nearby, and maintain the walkable character of the general vicinity.*

5. Length of time the subject property has remained vacant as zoned:

*The Tonganoxie Elementary School was built on this site in 1902. It closed in 2015 and was torn down approximately 2 years ago.*

6. Relative gain to the public health, safety and welfare by the destruction of the value of the landowner’s property as compared to the hardship imposed upon the landowner:

*The proposed project will introduce a new housing type into the downtown neighborhood while maintaining the existing scale of the neighborhood. It will allow more housing types proximate to the downtown businesses and services and present options to walk to commercial and civic destinations nearby. The existing connected street network is capable of handling the moderate density on the project and parking and access strategies adequately balance vehicular needs with the pedestrian character of the area.*

7. Conformance of the requested change to the adopted or recognized comprehensive plan of Tonganoxie, Kansas:

*This area is located in the near downtown area in the Comprehensive plan. However the Comprehensive Plan designates it as “Public / Semi-Public and Institutional” on the Future Land Use Map. However it is likely that this was merely a reflection of existing land uses, and not truly a long-range plan for the downtown area. Other policies of the plan more directly reflect policies to create more walkable destinations in and around downtown, to promote more housing choices throughout the City and within neighborhoods, and to promote a walkable character of new and existing neighborhoods.*

*The 2017 Comprehensive Plan updates also includes a “Residential Mixed (RM)” Land Use Category that supplements the development patterns in this area. It supports a mix of housing types in neighborhood and urban residential formats integrated into downtown and surrounding areas. It recommends projects that generally range in the 8 to 20 units per acre range – particularly for duplexes, townhouses and apartments. (this project is approximately 13 du/ac).*

8. Recommendations of professional staff:

[see below]

### Planned Designation

This application is also accompanied by a preliminary development plan. The proposed plan is consistent with the R-MF2 district in the following ways:

- Allowed uses [ 8-011]: Structures containing 2 to 12 dwelling units or more);
- Area and Height regulations [8-013]
  - Lot size of 10,000 s.f. minimum and 1,500 square feet per dwelling unit, whichever is larger
  - Lot width of 100 feet
  - Height Regulation 3 stories or 45 feet
  - Minimum finished floor area of 500 square feet per dwelling
  - Side and rear yards of 10 and 30 feet respectively

This plan presents deviations from the base zoning district standards of R-MF2. The deviations listed below should be specifically evaluated on if they bring the project further into conformance with the above criteria than otherwise meeting the zoning district standards.

- *Front Setbacks and Width per unit.* The R-MF2 requires a 30' front setback, and suggests "lots" should have at least 35' per unit for 2-, 3- and 4- family units. This plan proposes front building lines at the following distances from lot lines:
  - 12.5' from Second Street on the north lot line;
  - 15' from Church Street on the west lot line;
  - 19.4' from Shawnee Street on the east lot line.

This is consistent with many existing homes on surrounding blocks which range in distance from 10' to 25' from the front lot line. Additionally, the closest relationship is Second Street on the north, where the right-of-way is deeper from the curb edge due to the existing head-in parking, so this setback will be perceived as deeper (head-in parking adds an additional 18' of depth to the street edge. Further, the human-scale nature of these frontages (entry features and courts, and no driveways or garages) makes it more appropriate to bring the buildings closer to the neighborhood streetscape. All of the buildings propose a sidewalk connecting the entrances and entry courts along the building frontages, in addition to connections to the public streetscape, adding to the pedestrian orientation of the project.

- *Side Setbacks.* There are two instances where the sides of buildings are closer to lot lines than the typical R-MF2 side setback of 10'. While R-MF2 allows 0' setbacks, this is on interior sides for attached buildings. These locations are a 5.1 setback for the sides of Buildings on Shawnee, and a 6.6' to 1.7' setback for the sides of buildings on Church Street. This building location is done to maintain the 17.6' wide walkway between buildings at the center of the site. Prior to approval the Commission should consider the following:
  - What the side elevations at these locations will look like;
  - Whether additional streetscape or landscape could soften any large wall planes or blank facades at this location;
  - Whether the building locations could be adjusted, and if so what trade-offs exist for the internal walkway open space; and
  - Whether narrower end units are a possibility.

In general, 5' to 10' side setbacks are common and acceptable for this housing format in this context. The limited instance of a 1.7' setback does warrant closer attention for relationships to the street and property on the opposite side of the street.

- *Parking* – The zoning ordinance requires 1.5 parking spaces per unit for multiple family dwellings. For the proposed 32 units, this project would require 48 spaces. The project identifies 58 spaces, however 36 of these are on-site and 22 are existing on-street parking spaces on Second Street. This is appropriate due more “urban neighborhood” format of the housing and surrounding streets and uses, and having at least 1 per unit on-site is sufficient.

## **II.B ANALYSIS – PRELIMINARY PLAT**

The Planning Commission is to review preliminary plats for the arrangement of streets, lots, buildings and utilities, and their general conformity with the required improvements in the subdivision regulations and the ability of the site to be developed subject to the zoning district standards. The preliminary plat review and approval indicates approval of the concepts, the likelihood that the project will be able to meet subsequent requirements, and the authorization to proceed to final engineering designs based on the approved concepts.

The applicant is proposing to plat this property as one lot. This project proposes a rezoning from R-SF to R-MF2-P. The lot generally meets the R-MF2 stands with exception to the planned items noted in the analysis of the Rezoning and Preliminary Development Plan.

The engineering items are addressed in the City Engineer report associated with this application.

## **III. EFFECT OF DECISION**

### **A.– Rezoning/ Preliminary Development Plan.**

- The Planning Commission decision is a recommendation to Governing Body for rezoning; final approval of the City Council is required. Following the consideration of any additional input from the applicant, City Staff, or the public, and based on the application and testimony at the public hearing, the Planning Commission may take one of the following actions.
  - Recommend approval of the application.
  - Recommend approval of the application, subject to conditions;
  - Recommend denial of the application, or
  - Continue the application to another date for further consideration and additional information. If continued to a specific date, time and location, no new notice will be required.
- The City Council considers the application at the next meeting after 14 days.
- If City Council may adopt the Planning Commission’s recommendation by a majority; it may modify or override the Planning Commission’s recommendation by a 2/3 vote of the membership of the governing body.
- If a valid protest petition is filed with the City of Tonganoxie City Clerk within 14 days from the conclusion of the Planning Commission hearing, the City Council must approve the application by a ¾ majority of the governing body.

### **B. Preliminary Development Plan**

- Approval of the preliminary development plan is merely approval of the development patterns and design elements in concept, and as a means to further review the criteria for the zoning request. Approval of a site plan by the Planning Commission is required prior to issuing any building permits. However, future site plans in substantial conformance with the preliminary development plans should be approved.

### C. Preliminary Plat

- The Planning Commission decision is a final decision for preliminary plats. The Planning Commission may take one of the following actions.
  - Approve the application.
  - Approve the application, subject to conditions, provided they directly relate to and further review criteria;
  - Deny the application, specific reasons for the denial or steps to correct the application are provided.
- Approval of a preliminary plat does not constitute final approval or acceptance of any portion of the plat, or authorization to proceed with construction of any portions of the project or improvements. It merely authorizes the applicant to proceed to final plat, which requires review by the Planning Commission and acceptance by the Governing Body. However, any final plat in substantial conformance with the preliminary plat should be approved.
- The preliminary plat approval is valid for 1 year, within which time a final plat shall be submitted and approved. The Planning Commission may grant an extension for an additional 1-year period.

## IV. RECOMMENDATION.

Planning Staff recommends the following:

1. Approval of the rezoning from R-SF to R-MF2-P, conditioned on a preliminary development plan concept, and specifically the following deviations. :
  - a. Front setbacks reduced to 12.5' on Second Street, 15 feet on Church Street, and 19.4 feet on Shawnee Street.
  - b. Side Setbacks reduced to the distances specified on the plans for each building (1.7', 6.7' and 5.1'), unless other alternatives and/or conditions of this building placement are recommended by the Planning Commission
  - c. Front widths per unit interpreted to be met at 20' to 30' per unit (123.5' to 149' per building)
  - d. Parking be reduced to 1 per unit, with 1.5 per unit being permitted to include associated on-street parking.

Future site plans shall be required to meet the primary development plan, and address other issues and recommendations in relation to that plan.
2. *The Preliminary Development Plan be approved in concept, subject to the following.*
  - a. A final landscape plan be submitted and approved by planning staff in association with the final development plan. The plan shall
    - a. identifying species and planting specifications;
    - b. consideration of street trees between the sidewalk and street in conjunction with the street improvements.

- c. Specifically trees spaced along Shawnee between curb and sidewalk if possible and some added to the north end; and on second street some trees added to the landscape areas that bulb out within the on-street parking.
    - d. Other landscape treatments to soften facades along the side elevations closest to Church and Shawnee shall be considered.
  - b. Further detail on planting, landscape or structural hardscape components should be explored to add definition and human scale to the entry court and entry features of each unit along the streetscape.
  - c. Site plans in substantial conformance with the preliminary development plan, elevations, materials, and above conditions be reviewed and approved by Planning Commission prior to building permits
  - d. Any other conditions identified by the Planning Commission in relation to analysis of the side setbacks.
3. The Preliminary Plat is approved subject to recommendations of the City Engineer, and additional engineering issues to be addressed prior to final plat.

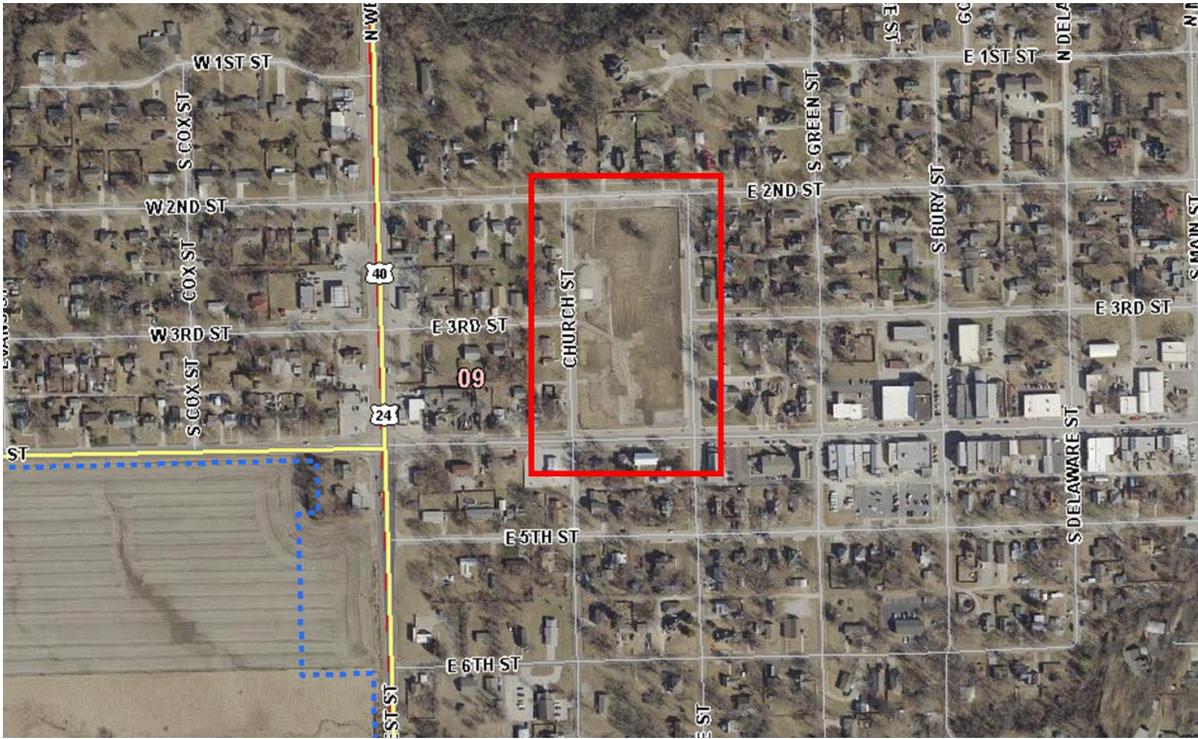



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Chris Brewster  
Contract City Planner



*Current City Zoning (property in red box now zoned R-SF)*



*Property*



*Future Land Use (Tonganoxie Comprehensive Plan 2006)*

**PRAIRIE FIRE DEVELOPMENT GROUP**  
**SCHOOLYARD LOFTS**  
 Tonganoxie, KS



architect  
 Attn: Ashley W. Sadowski, AIA  
 Odimo LLC  
 701 E. 63rd St. # 210  
 Kansas City, MO 64110  
 816.708.1500  
 asadowski@odimo.us

civil engineer  
 Attn: Brian C. Lavery, PE  
 Continental Consulting Engineers, Inc  
 11006 Parallel Pkwy  
 Kansas City, KS 66109  
 913.642.6642  
 bl@cceengineers.com

Date Description

Issue

1 October, 2019

Seal / Signature

**NOT FOR CONSTRUCTION**

Description

Site Plan

**C2.0**

**LEGEND**

- 6" STANDARD DUTY ASPHALT
- 8" HEAVY DUTY ASPHALT
- 8" CONCRETE
- 4" CONCRETE SIDEWALK/PATIO

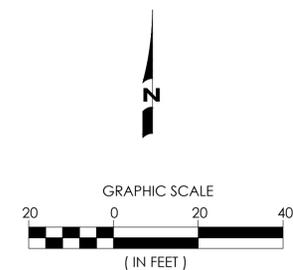
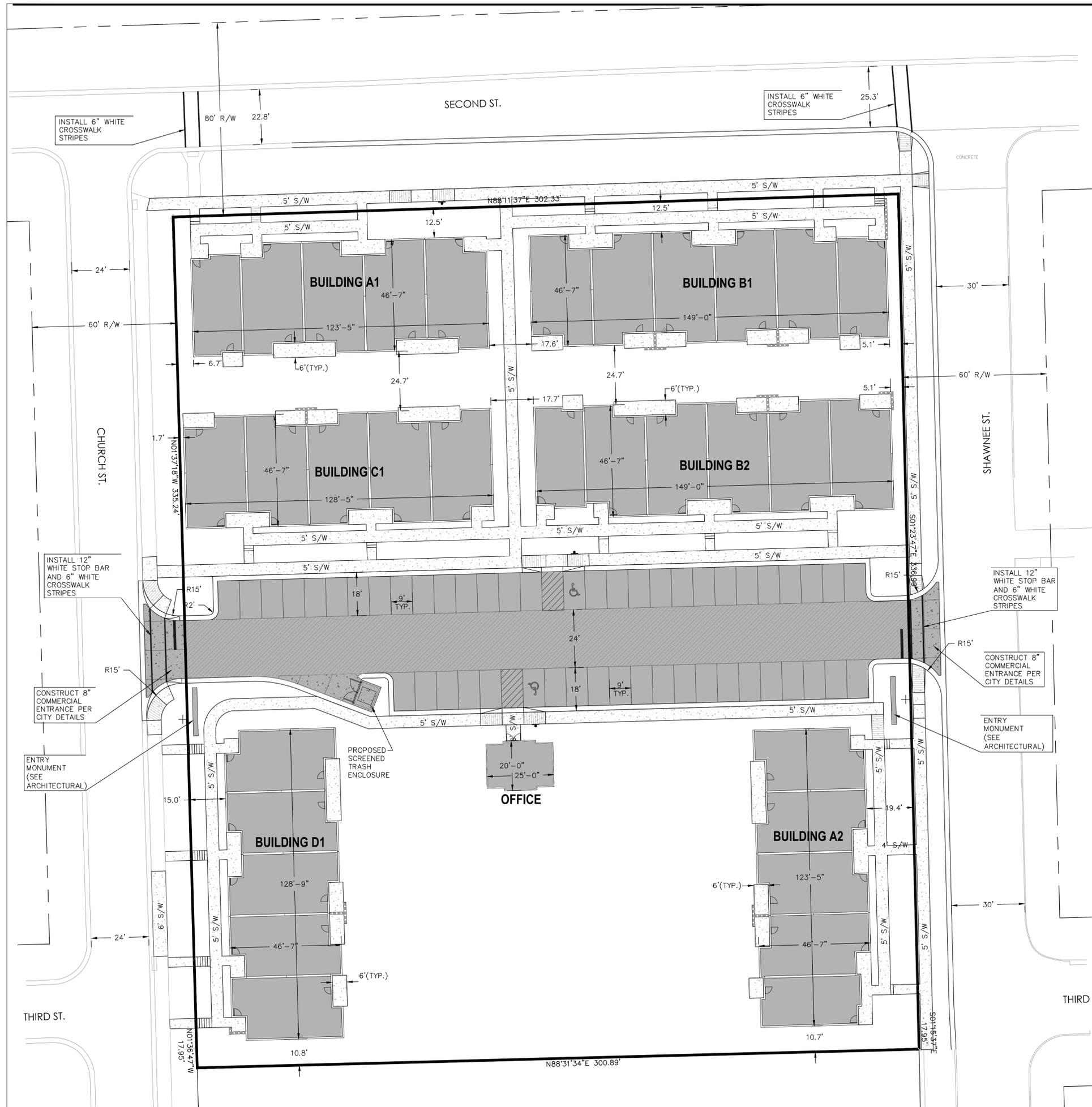
PROPOSED ZONING R-MF-2P  
 (PLANNED MULTIPLE FAMILY 2 DISTRICT)

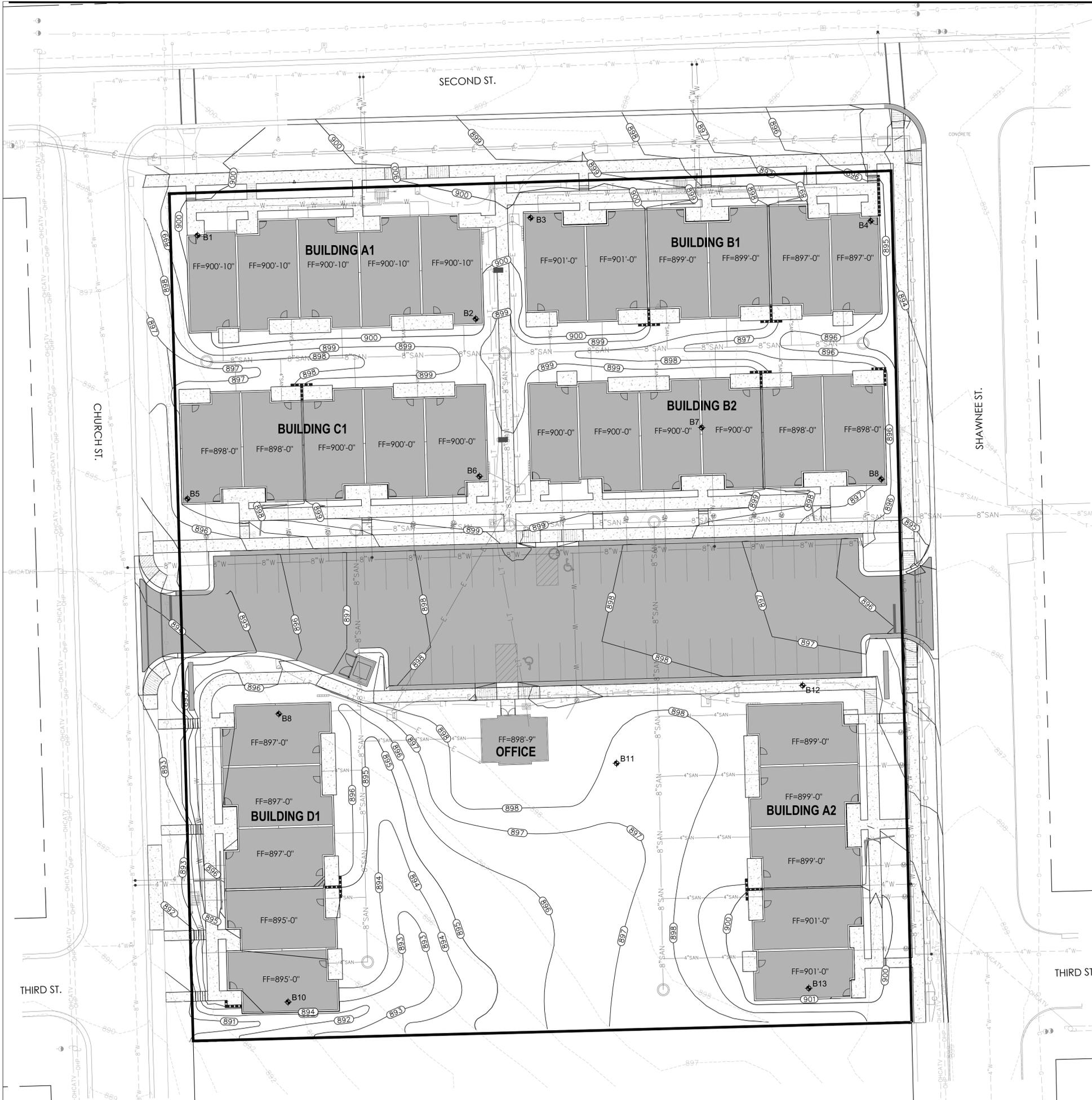
EXCEPTIONS TO BASE ZONING FOR FRONT, SIDE, AND REAR YARD SETBACKS, INCLUDING PARKING ALONG 2ND STREET IN TOTAL.

DWELLING UNITS: 32 EA  
 PARKING REQ'D 1.5/UNIT = 48  
 TOTAL 48

OFFICE: 500 SF  
 1/200 SF = 3

TOTAL REQUIRED = 51  
 TOTAL PROVIDED ONSITE = 51





**SITE GRADING NOTES:**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
2. EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
3. TOPOGRAPHIC INFORMATION IS TAKEN FROM GROUND SURVEYS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER NOT FOR CONSTRUCTION.
4. ALL UNSURFACED AREAS THAT ARE DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES MINIMUM OF TOPSOIL. TOPSOIL SHALL BE BLACK SOIL FROM THE LOCAL VICINITY THAT PRODUCES HEAVY GROWTH.
5. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. PRIOR TO PLACING FILL, ANY EXISTING SLOPES EXCEEDING 5 HORIZONTAL TO 1 VERTICAL SHOULD BE BENCHED. THE BENCHES SHOULD BE CUT WIDE ENOUGH TO ACCOMMODATE THE COMPACTION EQUIPMENT.
7. UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL ENGINEER, EARTHWORK OPERATIONS SHOULD NOT BE ALLOWED TO PROCEED IF AMBIENT TEMPERATURES ARE AT 40°F AND ARE DROPPING. THEY CAN BE RE-STARTED WHEN TEMPERATURES ARE 34°F AND RISING.
8. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED. NO SEPARATE OR ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION.
9. REFER TO STRUCTURAL PLANS FOR SUBGRADE TREATMENT OF UNDERSLAB AREA
10. ALL AREAS SHALL BE GRADED TO WITHIN 0.10± FEET OF FINAL ELEVATION.
11. PRIOR TO BEGINNING PREPARATION OF SUBGRADE, ALL AREAS UNDER PAVEMENTS SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, LARGE ROCK FRAGMENTS (GREATER THAN 6 INCHES IN ANY DIMENSION) AND ANY OTHER DELETERIOUS MATERIAL. ALL VEGETATION SHALL BE HAULLED OFF. TOPSOIL MAY BE RESPREAD AT THE END OF GRADING OPERATIONS. THE ACTUAL STRIPPING DEPTH SHOULD BE BASED ON VISUAL EXAMINATION DURING CONSTRUCTION AND THE RESULTS OF PROOF-ROLLING OPERATIONS. THE ROOT SYSTEMS OF ALL TREES (NOT DESIGNATED TO REMAIN) SHALL BE REMOVED IN THEIR ENTIRETY.
12. SUBSEQUENT TO COMPLETION OF STRIPPING AND OVER-EXCAVATION, ALL BUILDING AND DRIVEWAY AREAS TO RECEIVE ENGINEERED FILL SHOULD BE SYSTEMATICALLY PROOF-ROLLED USING A TANDEM AXLE DUMP TRUCK LOADED TO APPROXIMATELY 20,000 POUNDS PER AXLE. UNSUITABLE SOILS THAT ARE DETECTED AND THAT CAN NOT BE RECOMPACTED SHOULD BE OVER-EXCAVATED AND REPLACED WITH ENGINEERED FILL.

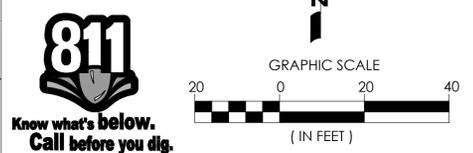
**SUMMARY OF GEOTECHNICAL REPORT REQUIREMENTS:**

1. CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT BY GSI ENGINEERING DATED SEPTEMBER 4, 2019, JOB. NO. 1973132 AND BECOME FAMILIAR WITH THIS REPORT. ADDITIONAL RECOMMENDATIONS MAY BE INCLUDED IN THIS REPORT.
2. SITE PREPARATION AREAS TO RECEIVE FILL AND BACKFILL SHOULD BE STRIPPED OF SURFACE VEGETATION, TOPSOIL, SOFT SOIL, UNCONTROLLED FILL, AND OTHER DELETERIOUS MATERIALS. THE EXPOSED SUBGRADE SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FILL. PROOF-ROLLING WITH A TANDEM AXLE DUMP TRUCK LOADED TO APPROXIMATELY 20,000 POUNDS PER AXLE (OR EQUIVALENT PROOF ROLLING EQUIPMENT) CAN BE CONSIDERED AS A MEANS OF EVALUATING THE SUBGRADE. ANY SOFT SOILS OR YIELDING AREAS OBSERVED DURING PROOF ROLLING SHOULD BE EXCAVATED AND BACKFILLED WITH SOIL OR CRUSHED ROCK COMPACTED TO THE DENSITIES SPECIFIED IN THE SUBSEQUENT COMPACTION SUMMARY. SEE GSI ENGINEERING REPORT NO. 1973132 FOR FULL RECOMMENDATIONS. UNDOCUMENTED FILL AND DEMOLITION DEBRIS HAS PREVIOUSLY BEEN PLACED ON THIS PROJECT SITE. IT IS RECOMMENDED BY GSI ENGINEERING THAT THIS UNDOCUMENTED FILL OR DEMOLITION DEBRIS BENEATH BUILDINGS, PAVEMENTS AND PARKING LOTS BE COMPLETELY REMOVED AND REPLACED WITH ENGINEERED, CONTROLLED FILL.
3. SUITABLE FILL MATERIALS, THE RECOMMENDED MATERIAL FOR FILL AND BACKFILL BENEATH LIGHTLY LOADED STRUCTURAL SLABS, FEATURES AND PAVEMENTS IS LOW VOLUME CHANGE (LVC) MATERIAL CONSISTING OF GRANULAR OR COHESIVE MATERIAL WITH A LIQUID LIMIT (LL) LESS THAN 40 AND A PLASTICITY INDEX (PI) BETWEEN 10 AND 20. THE ONSITE NATIVE MATERIAL IS NOT CONSIDERED ACCEPTABLE LVC MATERIAL UNLESS CHEMICALLY STABILIZED BY 6%-8% CLASS C FLY ASH, 6%-8% CEMENT KILN DUST, OR 3%-5% PORTLAND CEMENT.
4. IF CHEMICAL STABILIZATION OF THE SOIL IS USED, IT SHALL BE COORDINATED WITH THE GEOTECHNICAL ENGINEER TO DETERMINE THE PROPER PERCENTAGE OF ADDITIVE, MOISTURE CONTENT, MIXING, AND PLACEMENT.
5. DEPENDING ON THE SOIL MOISTURE AT THE TIME OF CONSTRUCTION, AERATION OR WETTING MAY BE REQUIRED TO ACHIEVE PROPER COMPACTION. DELETERIOUS MATERIAL SHOULD NOT BE INCLUDED IN FILL, AND THE FILL SHOULD NOT BE PLACED ON SOFT MATERIALS OR FROZEN GROUND.
6. ONSITE INSPECTION AND TESTING BY THE GEOTECHNICAL ENGINEER SHALL BE A REQUIREMENT. IN ALL FILL AND CUT AREAS, TOPSOIL AND OTHER MATERIALS DEEMED UNSUITABLE BY THE ONSITE GEOTECHNICAL ENGINEER SHALL BE REMOVED AND REPLACED WITH CONTROLLED FILL.
7. THE CONTRACTOR SHALL STRIP THE UPPER TOPSOIL AND VEGETATION LAYER. ANY EXISTING TOPSOIL SHALL BE STOCKPILED AND REUSED.
8. PROPER SITE GRADING SHALL BE DONE TO CONTROL RUNOFF AND EROSION. PROPER GRADING AVOIDS PONDING OF WATER AND DIRECTS RUNOFF TO DESIGNATED EROSION CONTROLS. PONDING OF WATER ON FINISHED SUBGRADE, INFILTRATION OF WATER INTO EXCAVATIONS AND SOFTENING OR DAMAGING OF THE BEARING MATERIALS DUE TO RAIN OR WATER ACCUMULATION SHALL BE PREVENTED BY USING TEMPORARY DIVERSION BERMS OR CHANNELS.
9. UTILITY TRENCHES BENEATH SLABS AND 5' OUT FROM BUILDINGS SHALL BE BACKFILLED AND COMPACTED WITH IMPERVIOUS CLAY MATERIAL.
10. FILL OR BACKFILL SHOULD BE PLACED IN UNIFORMLY THICK LIFTS AND COMPACTED. THE LOOSE LIFT THICKNESS SHOULD NOT EXCEED 8 INCHES ON SITE AND 6 INCHES WITHIN THE AREA OF THE BUILDINGS. SOIL SHALL BE COMPACTED PER THE FOLLOWING TABLE:

- PARKING/SIDEWALK SUBGRADE PREPARATION:**
1. NINE INCHES OF PROPERLY MOISTURE CONDITIONED AND COMPACTED LVC MATERIAL SHALL BE REQUIRED BENEATH ALL PAVEMENTS AND 2 FEET BEYOND. SUBGRADE SHALL BE COMPACTED TO 95% OF MAX. DENSITY PER ASTM D-698 AT 0% TO +4% OF OPTIMUM MOISTURE. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 9 INCHES.
- FOUNDATION AND BUILDING PAD PREPARATION:**
1. FOUNDATION UNDERCUT: ALL FOOTINGS AND FOUNDATIONS SHALL BEAR ON SIMILAR MATERIAL. IF ROCK IS ENCOUNTERED IN EXCAVATION FOR FOOTINGS OR FOUNDATIONS, SHALL BE UNDERCUT TO PROVIDE ONE (1) FOOT BELOW BOTTOM OF FOOTING OF LOW VOLUME CHANGE MATERIAL.
  2. CUT THE SUBGRADE A MINIMUM OF 16 INCHES BENEATH THE BASE OF SLAB ELEVATION TO ALLOW FOR PLACEMENT OF A 12 INCH LVC SUBBASE AND A 4 INCH GRANULAR BASE COURSE BENEATH THE SLAB ON GRADE.
  3. SCARIFY AND RECOMPACT THE UPPER 9" OF EXPOSED SUBGRADE TO 95% OF THE STANDARD PROCTOR (ASTM D-698) MAX. DRY DENSITY WITH A MOISTURE CONTENT AT 0% TO +4% OF OPTIMUM.
  4. FOR THE 12" LVC SUBBASE, COMPACT TO 95% OF MAX. DRY DENSITY PER ASTM D-698, AT 0% TP +4% OF OPTIMUM APPLY MOISTURE TO ACHIEVE PROPER COMPACTION.
  5. PLACE A 4 INCH LAYER OF CLEAN OPEN GRADED CRUSHED LIMESTONE TO BE COMPACTED WITH A VIBRATORY STEEL WHEEL ROLLER BENEATH THE SLAB.

**LEGEND**

- DRAINAGE STRUCTURE
- FLARED END SECTION
- GEOTECHNICAL BORING
- RETAINING WALL
- WET CURB HIGH BACK
- DRY CURB HIGH BACK



**PRAIRIE FIRE DEVELOPMENT GROUP**

SCHOOLYARD LOFTS  
Tonganoxie, KS



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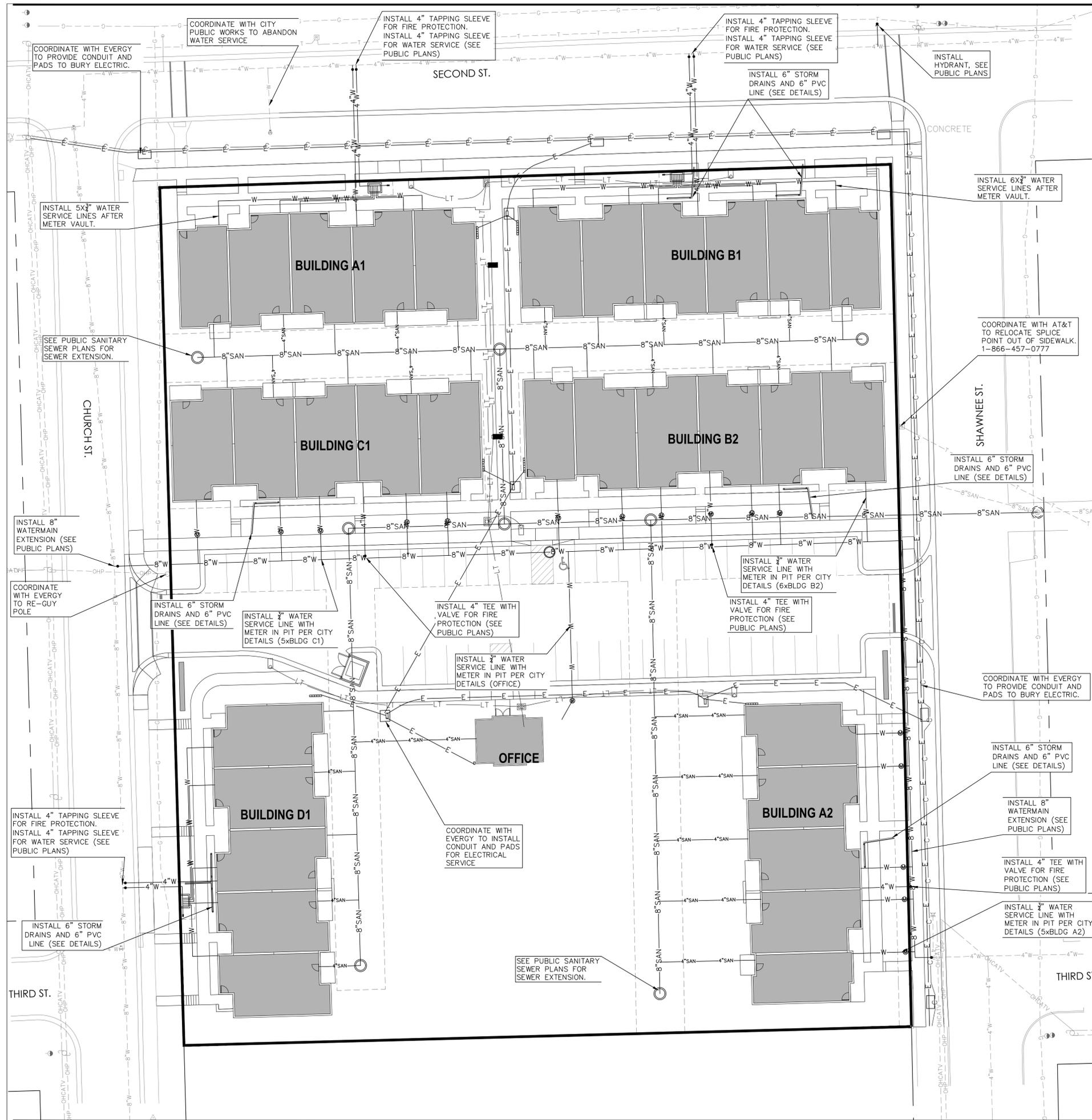
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Issue
1 October, 2019

**NOT FOR CONSTRUCTION**

Description  
**Grading Plan**

**C3.0**



**SITE UTILITY NOTES:**

- ALL FILL MATERIAL IS TO BE IN PLACE, COMPACTED, AND CONSOLIDATED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL UTILITIES ARE TO BE PLACED IN TRENCH CONDITIONS.
- SANITARY SEWER SERVICE LINES SHALL BE 6" SCH. 40 PVC OR SDR-35 PVC. SANITARY MAIN PIPING SHALL BE PVC SDR-21 OR SDR-26 OR SDR-35
- STORM SEWER AND ROOF DRAINS (RD) SHALL BE AS FOLLOWS:  
6" AND SMALLER SHALL BE SCH 40 PVC OR SDR-35 PVC  
8" AND LARGER SHALL BE HDPE N-12
- WATER LINES SHALL BE AS FOLLOWS:  
-FROM MAIN INTO AND THROUGH VAULT:  
-3/4" THRU 2" WATERLINES SHALL BE COPPER TYPE K  
-3" AND LARGER CLASS 50 DUCTILE IRON PIPE OR PVC SDR 21 CLASS 200  
-ALL WATER LINES AFTER METER/BACKFLOW PIT SHALL BE AS FOLLOWS:  
-3/4" THRU 2" SHALL BE HDPE PE4710 200 PSI, SDR-7 IPS  
-3" AND LARGER MAY BE CLASS 50 DUCTILE IRON PIPE OR PVC SDR 21 CLASS 200
- MINIMUM TRENCH WIDTH SHALL BE 12 INCHES.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 42" COVER ON ALL WATER LINES.
- ALL WATERLINES SHALL BE KEPT TEN (10') APART (PARALLEL) FROM SANITARY SEWER LINES OR MANHOLES, OR WHEN CROSSING, A 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) OF THE WATER LINE ABOVE THE SEWER LINE IS REQUIRED.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE ENCASED IN CONCRETE 10 FEET EITHER SIDE OF THE CROSSING.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR EXACT TIE-IN LOCATIONS OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
- REFER TO BUILDING PLANS FOR SITE LIGHTING TIE IN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OR REMOVAL OF EXISTING POWER POLES, TELEPHONE POLES AND CUIVS WITH RESPECTIVE UTILITY COMPANIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS REGARDING UTILITY SERVICES.
- CONDUIT FOR ELECTRICAL SHALL BE SCH. 40 PVC OR SCH. 40 HDPE
- GAS SERVICE LINE SHALL BE MDPE (DRISCOPEX 6500 OR EQUAL) MEETING PE2708, YELLOW IN COLOR. ALL JOINTS SHALL BE FUSED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON FIELD LOCATED MARKS FROM THE UTILITY COMPANIES.
- GAS, WATER, COMMUNICATIONS, AND ELECTRIC (SUE LEVEL C).
- MEASUREMENTS FOR HORIZONTAL LOCATION AND DEPTH WERE TAKEN IN THE FIELD FOR STORM AND SANITARY SEWER ONLY (SUE LEVEL A).

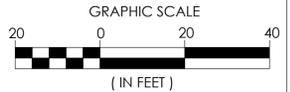
THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH AND RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**LEGEND**

- W- EXISTING WATER
- FH- EXISTING FIRE HYDRANT / VALVE
- OHP- EXISTING OVERHEAD POWER
- E- EXISTING UNDERGROUND POWER
- SL- EXISTING STREET LIGHT
- GP- EXISTING POWER POLE
- G- EXISTING GAS
- SAN- EXISTING SANITARY SEWER
- MH- EXISTING SANITARY MANHOLE
- AIR- EXISTING COMPRESSED AIR LINE
- SS- EXISTING STORM SEWER
- CB- EXISTING CATCH BASIN
- OHCATV- EXISTING CABLE TV
- T- EXISTING UNDERGROUND TEL
- OHT- EXISTING OVERHEAD TEL
- FO- EXISTING FIBER OPTIC
- X- EXISTING FENCE LINE
- E- PROPOSED UNDERGROUND ELEC.
- W- PROPOSED WATER
- C- PROPOSED COMM / FIBER / TEL
- G- PROPOSED GAS LINE
- SS- PROPOSED STORM SEWER
- 8" SAN- PROPOSED SANITARY SEWER
- IW- PROPOSED IRRIGATION
- LT- PROPOSED STREET LIGHT
- SG- PROPOSED SECURITY CAM
- DP- DATA AND POWER
- TR- PROPOSED TRANSFORMER

**UTILITY CONTACTS:**

- ELECTRIC:**  
EVERGY (WESTAR ENERGY)  
ROSS HARRIS  
785-865-4857
- WATER:**  
CITY OF TONGANOXIE  
913-845-2620
- SANITARY AND STORM SEWER:**  
CITY OF TONGANOXIE  
913-845-2620
- GAS:**  
ONEGAS  
800-794-4780
- TELEPHONE/INTERNET**  
MIDCO:  
800-888-1300
- ATT (RELOCATIONS, RICK THENO):**  
866-457-0777
- ATT (NEW SERVICE, JENNIFER TAYLOR):**  
913-727-1342
- DIRECT TV:**  
877-423-3403



**PRAIRIE FIRE DEVELOPMENT GROUP**  
SCHOOLYARD LOFTS  
Tonganoxie, KS



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Date	Description
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Issue

1 October, 2019

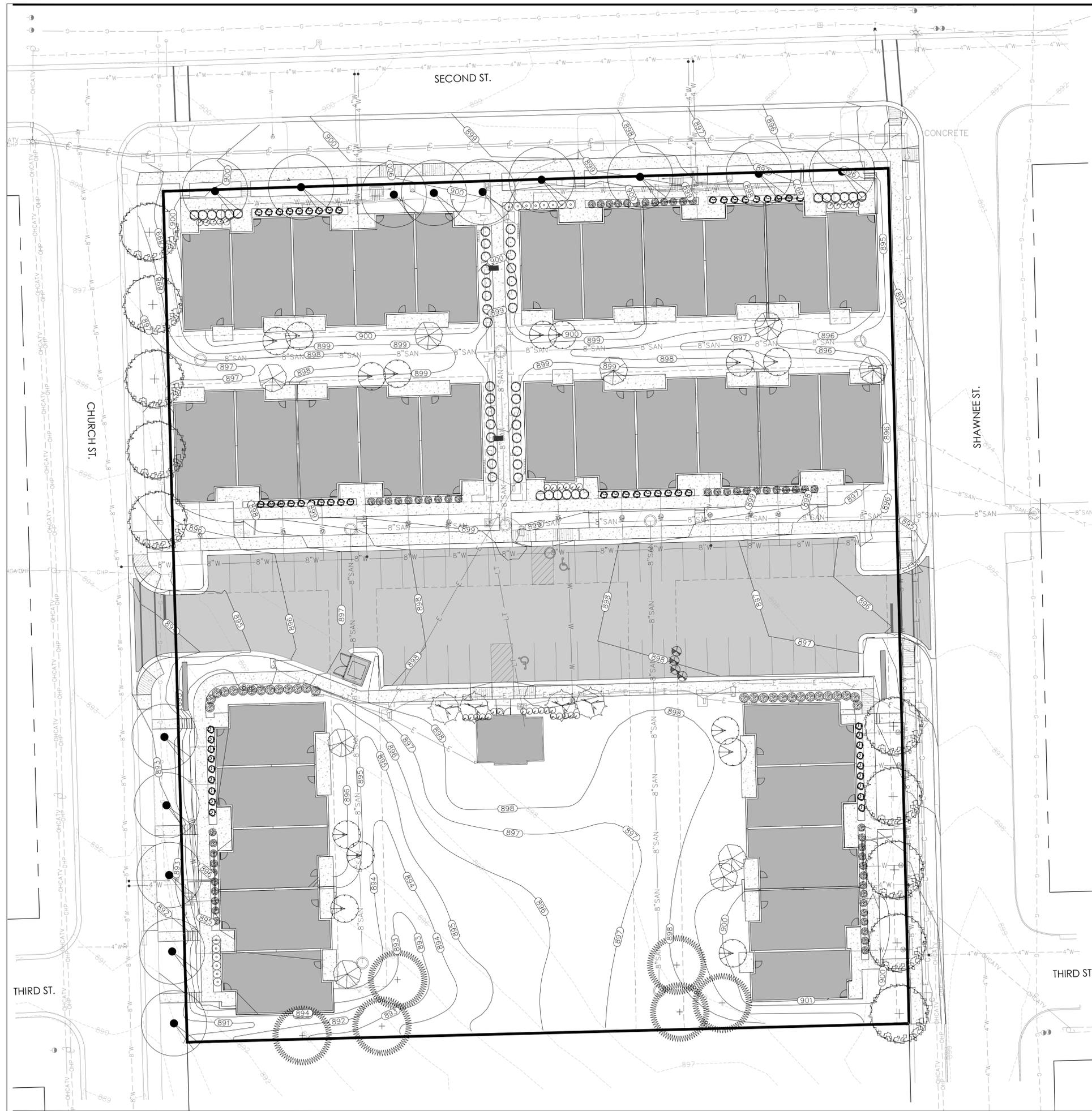
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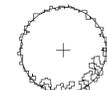
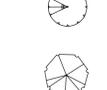
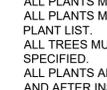
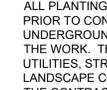
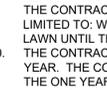
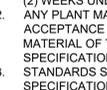
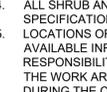
Description

Utility Plan

**C4.0**



### Landscape Legend

-  Quercus rubra (Northern Red Oak), 2" Caliper, B&B
-  Taxodium distichum (Bald Cypress), 2" Caliper, B&B
-  Quercus bicolor (Swamp White Oak), 2" Caliper, B&B
-  Quercus robur (English Oak), 2" Caliper, B&B
-  Magnolia virginiana (Sweetbay Magnolia), Min. 6'-8" Ht, B&B
-  Amelanchier x grandiflora (Autumn Brilliance Serviceberry), Min. 7' Ht., 16 Gal. Container
-  Taxus media 'Hicksii' (Hicksii Yew), 5 Gal. Container or B&B
-  Juniperus chinensis 'Sea Green' (Sea Green Juniper), 3 Gal. Container
-  Itea virginica (Sweetspire), 3 Gal. Container
-  Calamagrostis x acutiflora 'Karl Foerster' (Foerster Grass), 3 Gal. Container
-  Thuja occidentalis 'Hetz Midget' (Hetz Midget Arborvitae), 3 Gal. Container
-  Spiraea japonica 'Little Princess' (Little Princess Spiraea), 3 Gal. Container

#### NOTES:

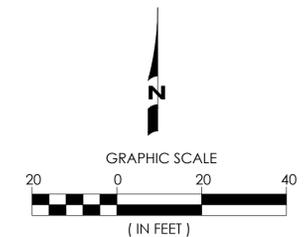
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED, SEEDED, OR SODDED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE ONE YEAR PERIOD.
11. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. ALL SHRUB AND GROUND COVER BEDS ARE TO BE COMPLETELY COVERED WITH MULCH (REFER TO SPECIFICATIONS) TO A MINIMUM DEPTH OF THREE INCHES.
15. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
16. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN. CONTACT LANDSCAPE ARCHITECT IF ADDITIONAL PLANTS ARE NEEDED.
18. ALL AREAS SHOWN AS PLANTED (TREES, SEED, SOD) SHALL RECEIVE 4" OF TOPSOIL.

#### PLANTING NOTES:

1. REMOVE BURLAP AT THE TOP 1/3 OF THE B&B ROOTBALL TO EXPOSE THE ROOT FLARE (THE ENLARGED OR SWOLLEN AREA WHERE THE LARGE LATERAL ROOTS EMERGE) AND PLANT WITH THE ROOT FLARE LEVEL WITH THE SURROUNDING SOIL.
2. THE PLANTING HOLE SHALL NOT BE DEEPER THAN THE BOTTOM OF THE ROOT BALL - MEASURE THE DEPTH FROM THE ACTUAL FOOT FLARE TO THE BOTTOM OF THE ROOT BALL. DIG THE HOLE TO THAT DEPTH, NO DEEPER, WHILE ALSO DIGGING IT TWICE AS WIDE AS THE ROOT BALL.
3. ALL WIRE, TWINE AND CANVAS (NATURAL OR SYNTHETIC) SHALL BE REMOVED FROM THE TOP 1/3 OF ROOT BALL. FILL SOIL SHALL BE SOIL FROM THE PLANTING HOLE. IF AMENDMENTS ARE REQUIRED THEY SHALL BE APPLIED TO THE ENTIRE PLANTING BED NOT THE INDIVIDUAL PLANTING HOLE.
4. ALL TREES SHALL BE WATERED AND MULCHED. MULCH SHALL BE 3 INCHES DEEP, TAPERING TO ZERO NEAR THE TRUNK. A MULCH BERM SHALL BE USED TO CREATE A WATERING PIT.



Know what's below.  
Call before you dig.



# PRAIRIE FIRE DEVELOPMENT GROUP

## SCHOOLYARD LOFTS

Tonganoxie, KS



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Date	Description
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Issue

1 October, 2019

Seal / Signature

## NOT FOR CONSTRUCTION

Description

Landscape Plan

# L1.0

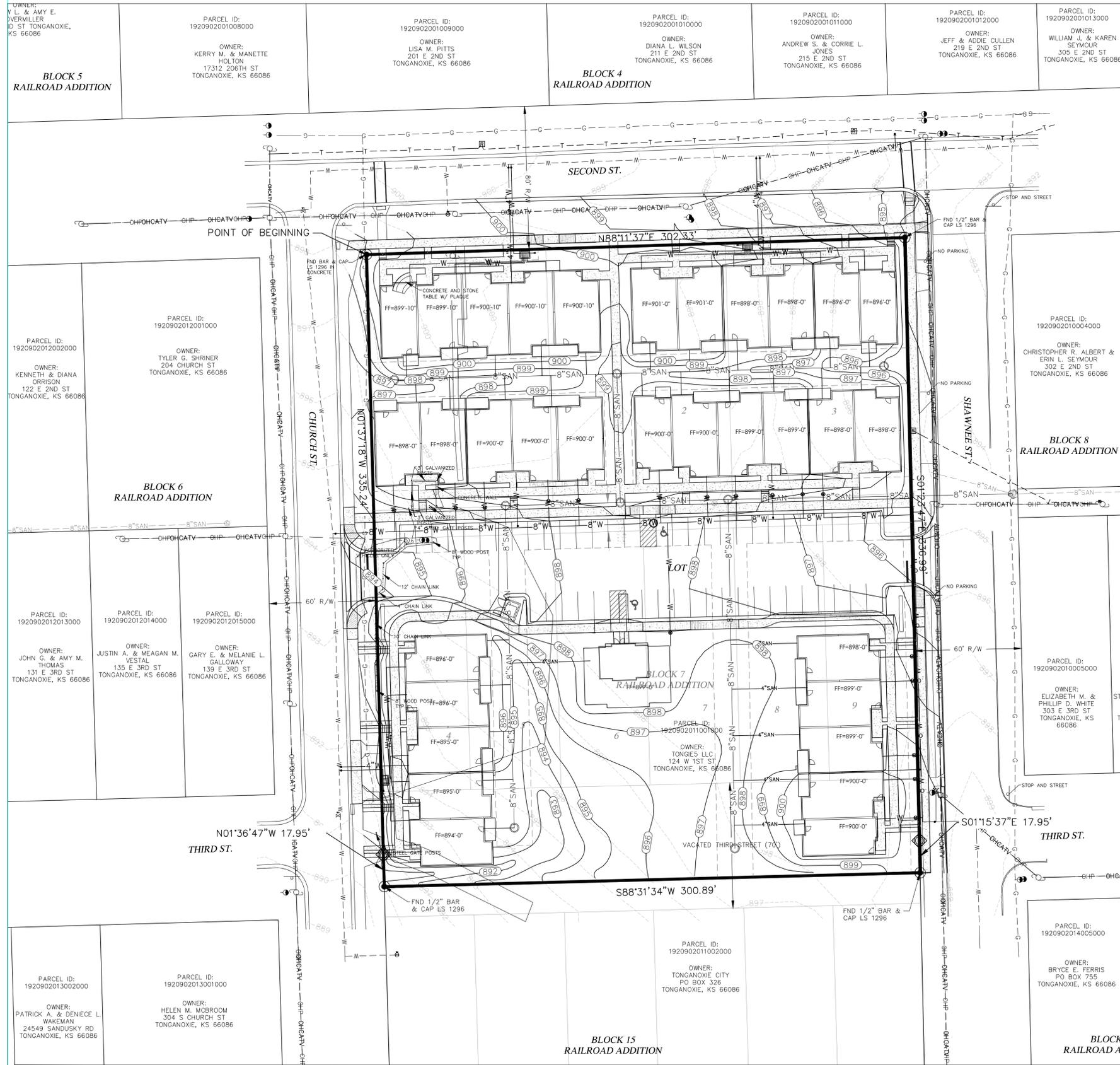
# PRELIMINARY PLAT SCHOOLYARD LOFTS

## A REPLAT OF BLOCK 7 RAILROAD ADDITION AND PART OF VACATED THIRD STREET, A SUBDIVISION IN THE CITY OF TONGANOXIE, LEAVENWORTH COUNTY, KANSAS

**PRAIRIE FIRE  
DEVELOPMENT  
GROUP**  
SCHOOLYARD LOFTS  
Tonganoxie, KS



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KANSAS CITY, MO 64110  
USA  
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### BOUNDARY DESCRIPTION

All of Lots 1 through 9 Block 7, and all that part of vacated Third Street, all being part of Railroad Addition to the City of Tonganoxie, and lying within the Northwest Quarter of Section 9, Township 11 South, Range 21 East of the Sixth Principal Meridian and being in Leavenworth County, Kansas, being more particularly described as follows: beginning at the northwest corner of said Lot 1 Block 7, Railroad Addition; thence North 88 degrees 11 minutes 37 seconds East, with the north line of Lots 1 through 3, Block 7 and the south right-of-way line of Second Street, a distance of 302.33 feet to the northeast corner of said Lot 3, Block 7, said point being on the west right-of-way line of Shawnee Street; thence South 01 degree 23 minutes 47 seconds East, with the east line of Lots 3 and 9, Block 7, and its southerly prolongation, and the west right-of-way line of Shawnee Street, a distance of 336.99 feet; thence South 01 degree 15 minutes 37 seconds East, continuing with the west right-of-way line of Shawnee Street, a distance of 17.95 feet; thence South 88 degrees 31 minutes 34 seconds West, and no longer with the west right-of-way line of Shawnee Street, a distance of 300.89 feet to a point on the east right-of-way line of Church Street; thence North 01 degree 36 minutes 47 seconds West, with the east right-of-way line of Church Street, a distance of 17.95 feet; thence North 01 degree 37 minutes 18 seconds West, with the east right-of-way of Church Street and the west line of Lots 1 and 4, Block 7, and its southerly prolongation, a distance of 335.24 feet to the point of beginning.

### SURVEYOR'S REPORT

- This basis of bearing for this survey is Kansas State Plane, North Zone, North American Datum, 1983.
- The easements shown on this survey have been taken from the title commitment NCS-966704-OMHA, dated June 14, 2019, provided by First American Title Company of Kansas.
- A 1/2" x 24" rebar with a plastic cap marked CCEI 1351 has been set at all property corners, unless otherwise noted.
- All addresses and adjacent property ownership shown on this survey were taken from the Leavenworth County GIS and Appraisers information.
- The subject property lies in Zone X - Areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map 20103C0302G, effective July 16, 2015.
- The gross land area of the subject property is 106,797 square feet, or 2.45 acres.
- The property is currently zoned Single Family. The proposed zoning is R-MF2-P.
- The error of closure is 1:262,247. The angular and distance error is S44°00'00"W 0.005'.

### SURVEYOR/ENGINEER:

Continental Consulting Engineers, Inc.  
11006 Parallel Parkway, Suite 1  
Kansas City, Kansas 66109  
Samuel J. DePrie, PLS  
Brian Lavery, PE

### OWNER:

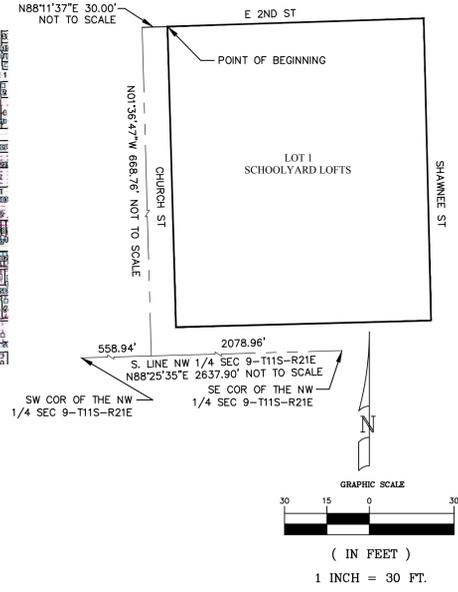
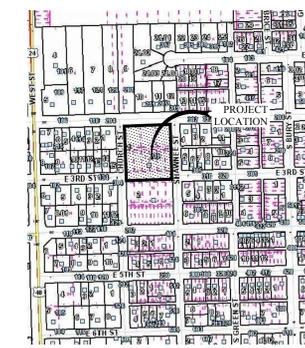
Tongie 5 LLC a Kansas limited liability company  
PO Box 326  
Tonganoxie, KS 66068

### DEVELOPER:

Schoolyard Townhomes LLC  
1125 Grand Blvd, Suite 202  
Kansas City, MO 64106  
Jason Swords

### SYMBOL LEGEND

⊙	Sanitary sewer manhole	---	Buried telephone line
⊕	Storm water manhole	---	Buried gas line
⊕	Telephone manhole	---	Overhead power line
⊕	Traffic signal	---	Overhead telephone line
⊕	Traffic signal manhole	---	Overhead cable tv line
⊕	Sign	---	Buried electric line
⊕	Street light	---	Fence line
⊕	Power pole	⊙	Deciduous Tree
⊕	Anchor	⊙	Coniferous Tree
⊕	Telephone riser	⊕	Concrete pavement
⊕	Found property corner as noted	⊕	Property line
⊕	Set property corner with 1/2" X 24" rebar and cap CCEI 1351	⊕	Center line
		---	Right of way
		⊕	Building



Date	Description
09/04/19	Revised per updated plan
10/01/19	Revised per updated plan

**Issue**

09 August, 2019

**Seal / Signature**

**NOT FOR  
CONSTRUCTION**

Description  
**Preliminary Plat**

**V1.0**

CITY OF TONGANOXIE, KANSAS

APPLICATION FOR PRELIMINARY PLAT AND FINAL PLAN APPROVAL

Requested Action	Fee Paid	Date Rec'd	Date Published	Hearing Date
<input checked="" type="checkbox"/> Preliminary Plat	_____	_____	_____	_____
_____ Street & Storm Sewer Plan	_____	_____	_____	_____
_____ Sanitary Sewer Plan	_____	_____	_____	_____
_____ Waterline Plan	_____	_____	_____	_____
_____ Final Plat	_____	_____	_____	_____
_____ Site Plan	_____	_____	_____	_____
_____ Landscaping Plan	_____	_____	_____	_____

Name of Development Schoolyard Lofts

General Location Between 2nd and 3rd Street and between Church St. and Shawnee St.

**Applicant:**

Name: Schoolyard Townhomes, LLC Contact: Jason Swords

Address: 1125 Grand Blvd, Suite 202, Kansas City, MO 64106

Phone/Fax: 816-581-3992

E-mail address Jswords@sunflowerkc.com

**Owner Developer:**

Name: Schoolyard Townhomes, LLC Contact: Jason Swords

Address: 1125 Grand Blvd, Suite 202, Kansas City, MO 64106

Phone/Fax: 816-581-3992

E-mail Address Jswords@sunflowerkc.com

**Engineer:**

Name: Continental Consulting Engineers Contact: Brian Lavery, P.E.

Address: 9000 State Line Road, Leawood, KS 66206

Phone/Fax: 913-642-6642 / 913-642-6941

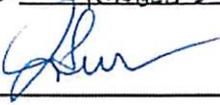
E-Mail Address bl@ccengineers.com

**SUBDIVISION INFORMATION:**

- Gross acreage of plat: 2.45 ac
- Total number of lots: 1
  - Residential  Business \_\_\_\_\_ Industrial \_\_\_\_\_ Other \_\_\_\_\_
- Existing zoning Single Family Proposed zoning R-MF2-P

THE owner herein agrees to comply with the subdivision regulations for Tonganoxie, as amended, and all other pertinent ordinances or resolutions of Tonganoxie, and statutes of the State of Kansas. The undersigned further states that he is the owner of the proposed for platting.

OWNER'S SIGNATURE \_\_\_\_\_

  
TADDER 5 LLC MEMBER  
 Schadyas Tawonhomus LP

OFFICE USE:

RECEIVED BY \_\_\_\_\_

Date \_\_\_\_\_ Fee Submitted \_\_\_\_\_

## GENERAL INFORMATION

This general checklist is provided only to aid the understanding of the plat and plan approval process. The plat and plan approval process is detailed in the subdivision regulations. The subdivision regulations are available online at [www.tongie.org](http://www.tongie.org) or at City Hall. It is the responsibility of the applicant and/or his representative to meet all of the regulations applicable to this subdivision.

The Tonganoxie Planning Application and Review Schedule will be followed to allow time for staff review and a public hearing. A public hearing on the proposed plat will be held before the Planning Commission. When a plat is submitted, public notice must be published in the official paper of Tonganoxie, Kansas, giving the name of the subdivision, owner, legal description, location and approximate acreage.

Approval of the Preliminary Plat does not constitute final approval or acceptance of the subdivision by the City Planning Commission or authorization to proceed with the construction of improvements within the subdivision, but shall constitute approval of the general layout.

The approval of the Preliminary Plat shall only be effective for one (1) year, unless the Planning Commission grants an extension. The Planning Commission may not grant an extension for a period in excess of one (1) year. If the final plat has not been submitted for approval within this period, a Preliminary Plat must be re-submitted for Planning Commission approval.

When the Final Plat has been approved by the City Council, the developer shall supply 3 copies of the plat on reproducible drafting film and 11 blue-line copies for proper signatures. The developer is responsible for filing the Final Plat with the Register of Deeds in Leavenworth County.

After receiving the recorded final plats and a performance bond or irrevocable letter of credit from the developer, he may proceed with the installation and construction of the required improvements. Building permits will be issued after improvements have been completed and approved by the City Engineer.

The developer shall file performance and maintenance bonds with the City.

As built plans, profiles and cross sections of the required improvements shall be filed with the City Engineer.

**See complete information in the Subdivision Regulations:**

**Section S-2 Preliminary Plat Procedure and Content**

**Section S-3 Final Plat Procedure, Content, and Action by the Planning Commission**

**Section S-4 Minimum Subdivision Design Standards & General Requirements**

**Section S-5 Improvements and Improvement Plan**

**Site Plan Review Standards and Site Review Committee**

### Preliminary Plat Checklist

- Submit a minimum of 6 copies
- Current Title Report - no more than 3 months old & a certificate of title verifying ownership no more than 30 days old
- Review: See Planning Application & Review Schedule for submittal dates. Staff review will include Planner, Administrator, City Superintendent, Engineer, Fire Chief, Police Chief and Building Inspector
- Fee: See Application Fee schedule for current fee amounts as established by the City Council. Costs incurred by the city for review of revised plats will be billed to the applicant.
- Checklist:
  - ☑ Clearly marked "Preliminary Plat"
  - ☑ Name of subdivision (If replatting, original plat must be referenced in title)
  - ☑ Name & address of owner, and name, address and registration of the engineer and/or surveyor preparing the plat
  - ☑ Surveyor's seal, signature & date--see KS Minimum Standards for Boundary Surveys
  - ☑ Date completed, Scale, North point, Key map
  - ☑ Legal description--including section, township, range and meridian
  - ☑ Drawing to scale of platted area, dimensioned and tied to at least 2 section corners
  - ☑ Contours at a minimum of 2 foot intervals
  - ☑ Names and location of adjacent owners and subdivisions
  - ☑ Location and dimension of property lines, streets, alleys, easements, buildings, utilities, watercourses and other items that will affect the plat
  - ☑ Existing & proposed zoning
  - ☑ Location and elevation of 100 year floodplain and floodway boundaries
  - ☑ Layout, number and dimensions of proposed lots and building or setback lines
  - ☑ Location, width & dimensions of all lands proposed for dedication to public use including easements
  - ☐ Proposed names for streets No new public streets proposed.
  - ☑ New utilities--method and timeline for all installations proposed, 3 copies of preliminary layouts of the street paving and all utility lines and all appurtenant work such as manholes & fire hydrants, utility lines and power poles
  - ☐ Written & signed statements from City-County Health Department stating approval of lot sizes and type of sewage system if not connecting to the city sewer system. Not necessary per City.
  - ☐ Written & signed commitments of utility availability from appropriate Utility officials gas, electric, telephone, water, cable. Not necessary per City.
  - ☐ Restrictions proposed for the plat in the Owner's Declaration of Plat. To be submitted with Final Plat



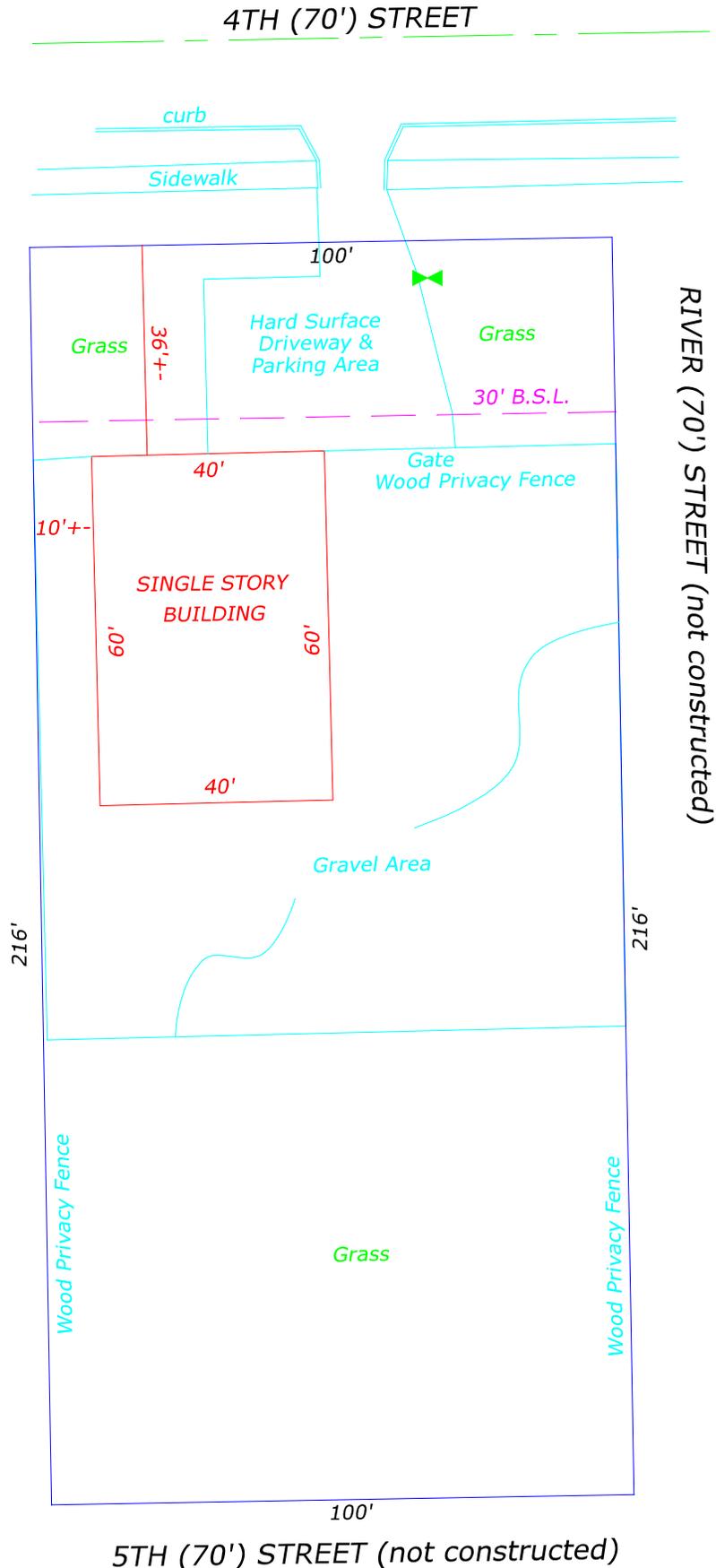
The variance application for 834 E 4<sup>th</sup> Street has been continued to November 7th, 2019 at 7pm in the Council Chambers, located at 321 S Delaware Street.

# PROPOSED SITE PLAN

Lots 1, 2, 15, & 16, Block 25,  
Railroad Addition, Tonganoxie, Kansas

PREPARED FOR:  
Steve Trieb

## THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY



Scale 1" = 30'

Job #K-19-1321  
September 5, 2019

J.Herring, Inc. (dba)  
**HERRING**  
SURVEYING  
COMPANY

315 North 5th Street, Leav., KS 66048  
Ph. 913.651.3858 Fax 913.674.5381  
Email - survey@teamcash.com

**City of Tonganoxie, Kansas**  
**Board of Zoning Appeals**  
**Variance Instructions and Application**

The Board of Zoning Appeals is appointed by the governing body. The Board shall administer the details of appeal forms, or other matters referred to it. The Board of Zoning Appeals shall hear appeals; determine requests for variances, exceptions and requests for setback modifications all as set forth in the Tonganoxie Zoning and Subdivision Regulations. (Section 26, Tonganoxie Zoning Regulations)

Scheduled meetings of the Tonganoxie Board of Zoning Appeals are held the first Tuesday of each month. All meetings begin at 7:00 p.m. in the City Council Chambers, 321 S. Delaware.

Citizens may address the Board on items under discussion when recognized by the Chairman at the Public Hearing. Persons requiring any accommodation (i.e. qualified interpreter, hearing assistance, etc.) in order to attend a Board meeting should notify City Hall at (913) 845-2620 no later than 48 hours prior to the start time of the Public hearing.

The following information and application is intended to assist in preparation and submission of the necessary papers for a Board of Zoning Appeals action.

Applications may be obtained at City Hall, 321 S Delaware or from the City website; [www.tonganoxie.org](http://www.tonganoxie.org). After completing the application, submit it with any supporting documents to City Hall along with the appropriate application fee.

The application will be reviewed by City Staff and the City Planner. The applicant will be advised if any other information is required. The application, surrounding property owner's radius search and other material must be submitted to City Hall according to the timeline in the Planning and Zoning Application and Review Schedule.

Applicants must provide a certified list of property owners, names and addresses, and CAMA numbers for all of the property which lies within 200 feet of the boundaries of the property within the City Limits and 1000 feet of the boundaries within the county area. Any error in this list of property owners will result in reapplication accompanied by a second application fee to be paid by the applicant and a new public hearing. (A certified radius list may be obtained from the Leavenworth County GIS Department, 300 Walnut St., Leavenworth KS 66048)

The applicant or applicant's representative must be present at the BZA meeting to present the request. Please attach additional names, addresses and signatures if more than one property owner is involved with this application. Applicants may bring maps, photos, or other materials that might assist in explaining the request. Adjacent property owners and other interested parties will be allowed to speak at the public hearing when called upon by the chairperson.

The Board will decide to approve the request, deny the request, or defer the request for further study. Applicants will receive written notification of the BZA's decision.

If the request is denied, an applicant may appeal the decision to the Leavenworth County District Court. Such an appeal shall be filed within 30 days of the final decision of the Board.

## **Tonganoxie Zoning Regulations Section 26**

### **Section 26-011 POWERS & DUTIES OF THE BOARD**

**d. Variance:** The Board may authorize in specific cases a variance from the specific terms of this ordinance which will not be contrary to public interest and where, owing to special conditions, a literal enforcement of the provisions of this ordinance, in an individual case, result in unnecessary hardship, and provided that the spirit of this ordinance shall be observed, public safety and welfare secured; and substantial justice done. Such variance shall not permit any use not permitted in the zoning ordinance in such district. A request for a variance may be granted in such case, upon finding of the board that all of the following conditions have been met (KSA 12-759):

- 1) That the variance request arises from such conditions which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or applicant.
- 2) That the granting of the permit for the variance will not adversely affect the rights of adjacent property owners or residents.
- 3) That the strict application of the provisions of this ordinance of which variance is requested will constitute unnecessary hardship upon the property owner represented in the application.
- 4) That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare, and
- 5) That granting the variance desired will not be opposed to the general spirit and intent of the zoning ordinance.

**OFFICE USE ONLY**

**APPLICATION REVIEWED AND:**

Filing Fee: \_\_\_\_\_ Date: \_\_\_\_\_

BZA Hearing Date \_\_\_\_\_

**APPROVED \_\_\_\_\_ DENIED \_\_\_\_\_**



City of Tonganoxie  
Board of Zoning Appeals  
Variance Application  
913-845-2640  
913-845-9760 Fax

**Applicant Information**

Applicant: Steve Trieb Phone: 913-238-0374

Address: 204 S. Main Street Fax: \_\_\_\_\_

\_\_\_\_\_ Email w305@hotmail.com

Owner: Kelly Angell Phone: 913-927-8219

Address: 22142 219th Street Fax: \_\_\_\_\_

\_\_\_\_\_ Email: angell.kelly@yahoo.com

**Property Information**

Zoning I-MD Moderate Industrial

Address/Location of Property: 834 East 4th Street

Legal Description: Lots 1, 2, 15, and 16, Block 25, RAILROAD ADDITION

**ADJACENT PROPERTY AND LAND USE:**

North: E 4th Street - Fire Station

South: E 5th Street - Residential

East: River Street - Body Shop

West: Vacant Ground

**ZONING:**

I-MD

Single Family

I-MD

I-MD

Present Use of Property: Vacant

Proposed Use of Property: Warehouse

Specific Section of the Zoning & Subdivision Regulations from which a Variance is being requested: Side yard variance - reducing the West side yard setback from 25 feet to 10 feet per site plan.

Also requesting that the North half of East 5th Street lying South of and adjacent to Lots 15 and 16 to be dedicated back to property

Reason for Request: Allows for building to fit the natural terrain of the property

Certified List of Property Owners is attached. Yes

Pursuant to the requirements of KSA 12-759, the BZA may grant a Variance from the Planning and Zoning Regulations provided that the BZA finds that all of the following conditions have been met. Please respond to the conditions listed below to help the BZA determine whether the conditions can be met [attach additional pages if necessary]:

1. Does the variance requested arise from a condition which is unique to the property in question and which is not ordinarily found in the same zone or district, and which is not created by an action of the property owner or applicant? Yes

Explain: Property has been vacant and has a significant portion of the property in a special flood hazard area.

2. Will granting the variance adversely affect the rights of adjacent property owners or residents? No

Explain: It would help in keeping the building farther west from the platted River Street which could be constructed at a later date and would not affect the property to the West which is vacant.

3. Will the strict application of the provision of the Zoning and Subdivision Regulations from which the variance is requested constitute unnecessary hardship upon the property owner represented in the application? Yes

Explain: It would cause hardship due to the amount of ground located in the special flood hazard area

4. Will granting the variance adversely affect the public health, safety, morals, order, convenience, prosperity or general welfare? No

Explain: It would benefit the area and protect the East side for the construction of River Street

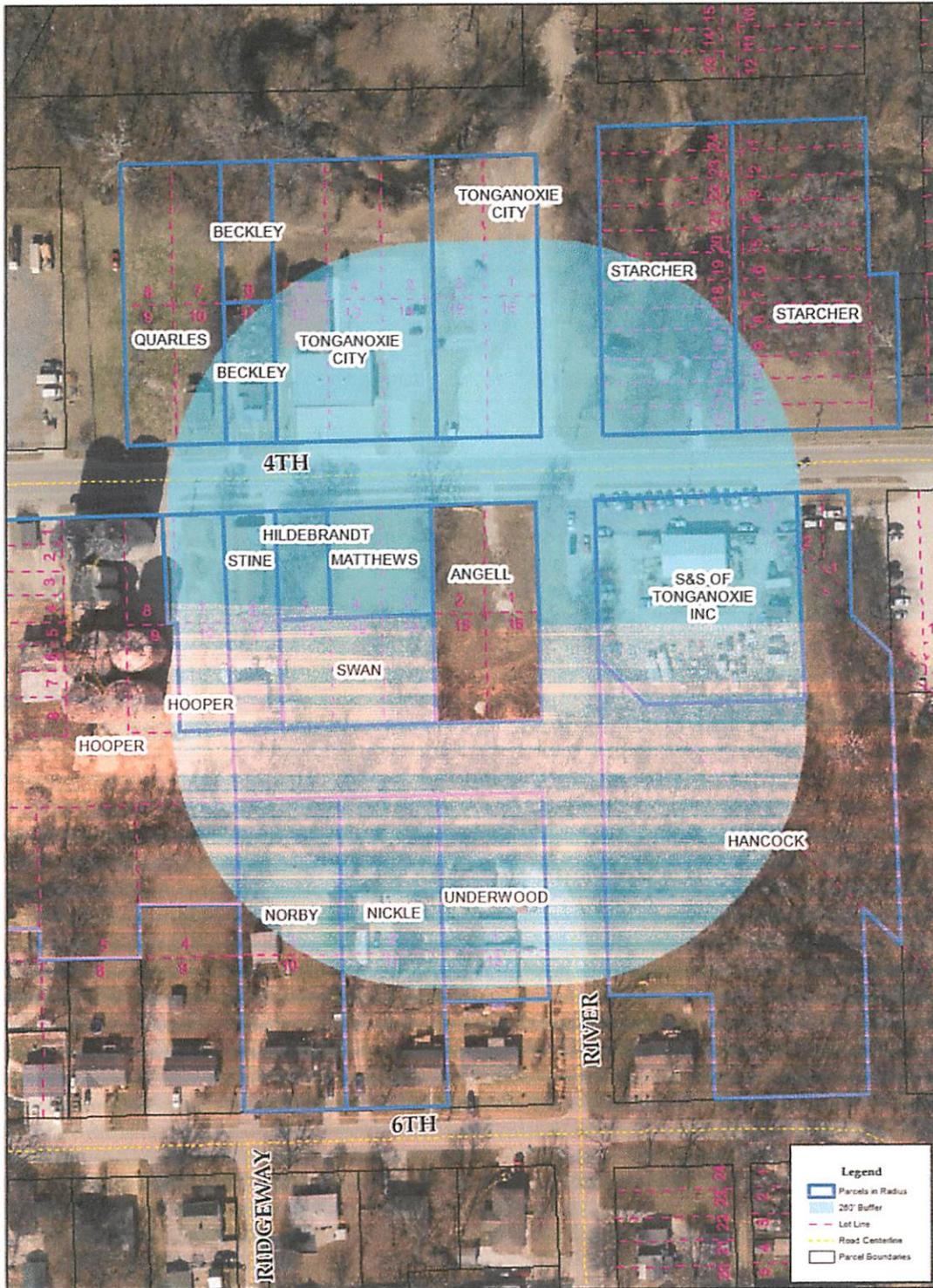
5. Will granting the variance be opposed to the general intent and spirit of the Zoning and Subdivision Regulations? No

Explain: It still gives enough room to protect neighboring property which is of the same I-MD Zoning

A. J. J. J. 6-18  
Applicant's Signature Date

Wally G. G. 7-9-19  
Owner's Signature Date

# City of Tonganoxie 260' Radius Search



ANGELL, KELLY E & TARA D  
192-09-0-40-03-001.00-0

2018 Aerial Photo

1 inch = 136 feet

This map is projected in real world coordinates. However, it is not intended for legal purposes. Accuracy is not guaranteed.





**Property Radius Search:**

ANGELL,KELLY E & TARA D  
 192-09-0-40-03-001.00-0  
 834 E 4TH ST, Tonganoxie, KS 66086

Requested By: **Joe Herring**

PID	QREF	OWNER	Site Address
192-09-0-10-12-001.00-0	R25978	TONGANOXIE CITY	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-10-12-003.00-0	R25980	BECKLEY, CHAD T	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-10-12-004.00-0	R25981	QUARLES, KENT	817 E 4TH ST, Tonganoxie, KS 660
192-09-0-10-11-002.00-0	R25977	STARCHER,VICKI & DOHRN,LESLIE B	907 E 4TH ST, Tonganoxie, KS 660
192-09-0-10-12-002.00-0	R25979	TONGANOXIE CITY	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-10-12-005.00-0	R25982	BECKLEY, CHAD T	821 E 4TH ST, Tonganoxie, KS 660
192-09-0-10-11-001.00-0	R25976	STARCHER,BILL; STARCHER,JERRY & MELAN	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-40-02-003.01-0	R26540	S&S OF TONGANOXIE INC	900 E 4TH ST, Tonganoxie, KS 660
192-09-0-40-03-002.00-0	R26551	MATTHEWS,ROBERT L	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-40-03-003.00-0	R26552	HILDEBRANDT, ALICE	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-40-03-005.00-0	R26554	HOOPER,JEFF & HOOPER,CHERYL	818 E 4TH ST, Tonganoxie, KS 660
192-09-0-40-03-006.00-0	R26555	HOOPER,JEFF & HOOPER,CHERYL	00000 PLEASANT ST, Tonganoxie,
192-09-0-40-03-018.00-0	R26567	SWAN,FERN	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-40-03-004.00-0	R26553	STINE,RICHARD M & RUBY C	822 E 4TH ST, Tonganoxie, KS 660
192-09-0-40-02-003.00-0	R26539	HANCOCK, LINDA; TRUST	00000 E 4TH ST, Tonganoxie, KS 6
192-09-0-40-03-017.00-0	R26566	UNDERWOOD,PAUL V & KATHY J	524 RIVER ST, Tonganoxie, KS 66C
192-09-0-40-03-014.00-0	R26563	NORBY,DAVID N & NANCY J	825 E 6TH ST, Tonganoxie, KS 660
192-09-0-40-03-015.00-0	R26564	NICKLE,ROBERT N & SUZZANNE D	833 E 6TH ST, Tonganoxie, KS 660

Leavenworth County GIS Department

300 Walnut Suite 212

Leavenworth, KS 66048

Ph(913)684-0448 FAX (913)680-2547

twehr@leavenworthcounty.org



<b>Mailing Address</b>	<b>Property Desc</b>
PO BOX 326	Exempt
TONGANOXIE, KS 66086	
202 S GREEN ST	Vacant
TONGANOXIE, KS 66086-9502	
22950 HONEY CREEK RD	Residential
TONGANOXIE, KS 66086	
105 E 11TH STREET TER	Residential
TONGANOXIE, KS 66086	
PO BOX 326	Exempt
TONGANOXIE, KS 66086	
202 S GREEN ST	Residential
TONGANOXIE, KS 66086-5400	
PO BOX 56	Vacant
TONGANOXIE, KS 66086	
PO BOX 56	Commercial & Industrial
TONGANOXIE, KS 66086	
4931 DASSCO CT	Vacant
SAN DIEGO, CA 92102	
Attn: FERNE SWANN	Vacant
4835 ESCALON AVE	
LOS ANGELES, CA 90043-1621	
2712 PRINCETON AVE	Vacant
EDMOND, OK 73034-4103	
2712 PRINCETON AVE	Commercial & Industrial
EDMOND, OK 73034-4103	
4835 ESCALON AVE	Vacant
LOS ANGELES, CA 90043	
822 E 4TH ST	Residential
TONGANOXIE, KS 66086	
511 E 4TH ST	Vacant
TONGANOXIE, KS 66086-8921	
PO BOX 471	Residential
TONGANOXIE, KS 66086	
225 E 6TH ST	Residential
TONGANOXIE, KS 66086	
833 E 6TH ST	Residential
TONGANOXIE, KS 66086-9587	

**DUE DATE:**

OMB No. 0607-0094: Approval Expires 02/28/2019

FORM **C-404** U.S. DEPARTMENT OF COMMERCE  
(3-21-2016) Economics and Statistics Administration  
U.S. CENSUS BUREAU

Title 13, United States Code, Sections 131 and 182, authorizes the Census Bureau to conduct this collection and to request your voluntary assistance. These data are subject to provisions of Title 13, United States Code, Section 9(a) exempting data that are customarily provided in public records from rules of confidentiality. This collection has been approved by the Office of Management and Budget (OMB). The eight-digit OMB approval number is 0607-0094 and appears at the upper right of this page. Without this approval we could not conduct this survey. We estimate this survey will take an average of 8 minutes per response for those that report monthly and 23 minutes for those that report annually to complete. More information about this estimate and an address where you may write with comments is on the back of this form.

**REPORT OF BUILDING OR ZONING PERMITS ISSUED FOR NEW PRIVATELY-OWNED HOUSING UNITS**

MELANIE TWEEDY  
ADMIN ASST  
FOR CITY OF TONGANOXIE  
BOX 326  
TONGANOXIE KS 66086

**IMPORTANT:**  
Please see the back of this form for more information and instructions for completing the survey.  
For further assistance, call 1-800-845-8244, or e-mail us at [EID.RCB.BPS@census.gov](mailto:EID.RCB.BPS@census.gov)

**How can I report?**  
Via **Fax: 1-877-273-9501**  
Via **Mail:**  
**U.S. Census Bureau**  
**1201 East 10th Street**  
**Jeffersonville, IN 47132-0001**  
Via **Internet** or to get **Help:**  
[econhelp.census.gov/bps](http://econhelp.census.gov/bps)  
Use your unique username and original password.

Name Change       Spelling Correction       Political Description Change

*(Please correct any errors in name, address, and ZIP Code)*

Username: \_\_\_\_\_ Password: \_\_\_\_\_

**1. PERIOD IN WHICH PERMITS WERE ISSUED** August 2019

**2. GEOGRAPHIC COVERAGE** *(For our latest information on your office's coverage, see [www.census.gov/construction/bps/pdf/footnote.pdf](http://www.census.gov/construction/bps/pdf/footnote.pdf))*  
**Did your permit system have a geographic coverage change?**  Yes, continue.  No, skip to Section 3.  
*Mark an (X) in the appropriate box and enter the requested information. If more space is needed continue in Section 5.*

051 <input type="checkbox"/> Permits no longer required to build new residential buildings	Effective Date	
052 <input type="checkbox"/> Permit office has merged with another permit jurisdiction . . .	Effective Date	Name of permit jurisdiction with which your office has merged
053 <input type="checkbox"/> Permit office has split into two or more jurisdictions . . . . .	Effective Date	Name of additional jurisdiction(s) now issuing permit(s)
054 <input type="checkbox"/> Extraterritorial jurisdiction(ETJ)/Annexation . . . . .	Effective Date	Define ETJ or annexation

**3. NEW HOUSING UNITS**  
**a. Were there any building permits issued for new housing units during this period?**  
 Yes, enter data below.  No, stop and return this form. Your report is important even if no permits were issued.

Type of Structure	Total Number of		Total Valuation of Construction (\$ value - omit cents) (3)
	Buildings (1)	Housing Units (2)	
101 <b>b. Single-family houses, detached and attached</b> (must meet the following criteria: no unit above or below the other; wall extends from ground to roof; and, separate utilities for each unit) <i>[Exclude manufactured HUD-inspected homes.]</i>		6	1389034
103 <b>c. Two-unit buildings</b>			
104 <b>d. Three- and four-unit buildings</b>			
105 <b>e. Five-or-more unit buildings</b>			

**4. ADDITIONAL INFORMATION ON INDIVIDUAL RESIDENTIAL PERMITS, FROM SECTION 3, VALUED AT \$1,000,000 OR MORE**  
*(If more space is needed, please attach a separate sheet.)*

Description and Site Address (1)	Owner or Builder (2)	Number of		Valuation of Construction (\$ value - omit cents) (5)
		Buildings (3)	Housing Units (4)	
Kind of building Site address City, State, ZIP Code	Name Address City, State, ZIP Code			
Kind of building Site address City, State, ZIP Code	Name Address City, State, ZIP Code			

**5. COMMENTS** *(Continue on a separate sheet)*

**6. PERSON TO CONTACT REGARDING THIS REPORT**  
Name MELANIE TWEEDY  
Telephone 913 845 2620 1010  
E-mail address [MTWEEDY@TONGANOXIE.ORG](mailto:MTWEEDY@TONGANOXIE.ORG)  
Internet web address  
Fax 913 845 9760

**See instructions on reverse side.**

# INSTRUCTIONS FOR COMPLETING FORM C-404, "REPORT OF BUILDING OR ZONING PERMITS ISSUED FOR NEW PRIVATELY-OWNED HOUSING UNITS"

We estimate this survey will take an average of 8 minutes per response for those that report monthly and 23 minutes for those that report annually to complete, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information.

Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to: ECON Survey Comments 0607-0094, U.S. Census Bureau, 4600 Silver Hill Road, Room EMD-6K064, Washington, DC 20233. You may e-mail comments to [ECON.Survey.Comments@census.gov](mailto:ECON.Survey.Comments@census.gov). Be sure to use ECON Survey Comments 0607-0094 as the subject.

## GENERAL INSTRUCTIONS FOR EACH SECTION (Use your unique username and password provided to report via Internet: [econhelp.census.gov/bps](http://econhelp.census.gov/bps))

(Answers to Frequently Asked Questions can be found at [www.census.gov/permitsfaq](http://www.census.gov/permitsfaq))

- 1. PERIOD IN WHICH PERMITS WERE ISSUED** – Include all privately-owned residential permits which were authorized during the **month** or **year** shown.
- 2. GEOGRAPHIC COVERAGE** – If there has been a change in the area covered by your office, enter explanations in space provided next to selections 051–054 as applicable. If more space is needed, continue in Section 5. To review our latest information on your office's coverage, see [www.census.gov/construction/bps/pdf/footnote.pdf](http://www.census.gov/construction/bps/pdf/footnote.pdf). Report discrepancies by either entering in Section 5, calling 1–800–845–8244 with the information or e-mailing us at [EID.RCB.BPS@census.gov](mailto:EID.RCB.BPS@census.gov).  
**051 (Discontinued)** – Permits are no longer required, by law, to build new residential buildings (i.e., new homes, new apartments).  
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**053 (Split)** – Permit office no longer covers a particular jurisdiction because: (1) that area now issues its own building permits; (2) another jurisdiction issues the permits for that area; or (3) that area no longer requires permits.  
**054 (Extraterritorial jurisdiction (ETJ)/Annexation)** – Permit office is now responsible for additional land area outside of its original boundaries.  
Also report in Section 5, if your permit office officially changed its name, had a spelling correction, or political description change (i.e., from town to city, city to village, etc.)
- 3. NEW HOUSING UNITS** – Summarize information for number of buildings, number of housing units, and valuation of construction as shown on the building or zoning permit. Enter the valuation as shown on the permit. If no valuation is listed, enter your best estimated value. If no value is required, annotate in Section 5. When the acronym "NVR" (No Value Required) appears in the address label area, comments referencing value are no longer necessary.
- 3a. No permits issued** – Return your form even if no permits were issued, after marking the box next to "No" in this section.
- 3b. Single-family houses, detached and attached** – Include all new privately-owned detached and attached single-family houses. Include attached single-family houses, known commonly as townhouses or row houses, where: (1) each unit is separated from adjoining units by a wall that extends from ground to roof, (2) no unit is above or below another unit, and (3) each unit has separate heating and separate utility meters.
- 3c. Two-unit buildings** – Include all new privately-owned residential buildings that contain two housing units, and do not meet **all** criteria of attached single-family as shown under Section 3b.
- 3d. Three- and four-unit buildings** – Include all new privately-owned residential buildings that contain three or four housing units, and do not meet **all** criteria of attached single-family as shown under Section 3b.
- 3e. Five-or-more unit buildings** – Include all new privately-owned residential buildings that contain five or more housing units, and do not meet **all** criteria of attached single-family as shown under Section 3b.
- 4. ADDITIONAL INFORMATION ON INDIVIDUAL RESIDENTIAL PERMITS, FROM SECTION 3, VALUED AT \$1,000,000 OR MORE** – Enter **additional** data from individual permits valued at \$1,000,000 or more included in Section 3. If more than two such permits were issued, attach a separate sheet.
- 5. COMMENTS** – Enter any explanations, miscellaneous notes or questions. Include any revisions to data entered on previous forms, identifying the applicable survey period, the type of structure (Section 3b–e) and corrected entries.
- 6. PERSON TO CONTACT REGARDING THIS REPORT** – Please fill in any blank areas or make any corrections to information already entered in these fields.

## INSTRUCTIONS FOR CLASSIFYING RESIDENTIAL BUILDINGS

### RESIDENTIAL BUILDINGS

Residential buildings are buildings containing one or more housing units. **A housing unit is a house, an apartment, a group of rooms or a single room intended for occupancy as separate living quarters.** Separate living quarters are those in which the occupants live separately from any other individuals in the building and which have a direct access from the outside of the building or through a common hall.

Some jurisdictions issue separate permits for individual units of a multifamily building. In this case, report the total number of units expected in a multifamily building when the first units are authorized. If the total number of buildings, units and valuation for the entire project is unknown, indicate in Section 5 or call our staff. Do NOT report permits for individual units in multifamily buildings separately.

Some jurisdictions issue building permits for residential construction in phases: foundation, shell or superstructure, and interior finishing. In this case, include the number of buildings, housing units and valuation for the intended building when the shell or superstructure permit is issued. Include foundation and interior finishing permits only when issued separately and a valuation of construction is available. In these two cases, enter the valuation in Section 3b–e, depending on the number of housing units in the intended superstructure, and zero for the buildings and units.

### PERMITS TO INCLUDE

- privately-owned residential buildings, which include all residential buildings owned or partially owned by a private company or an individual during the period of construction
- housing for the elderly, such as assisted living facilities, that do not have 24-hour skilled nursing care
- "turnkey" housing, which is housing that will be sold to a local public housing authority when completed
- all housing built by nonprofit organizations
- buildings manufactured partially off-site and transported and assembled at the construction site, such as prefabricated, panelized, precut, sectional and modular (these do not include manufactured (mobile) HUD-inspected homes)
- residential permits issued in phases, as described above
- permits for multifamily housing units issued as commercial
- reissued expired permits with significant changes to construction plans

### PERMITS TO EXCLUDE

- publicly-owned buildings
- nonresidential buildings
- moved or relocated buildings
- farm buildings, such as silos, barns, etc.
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- group quarters, such as dormitories, jails, nursing homes, etc.
- hotels/motels
- other structures on residential property, such as sheds, garages, pools, etc., when permitted separately
- landscaping
- demolitions
- maintenance and repair, which are expenses to keep a property in ordinary working condition
- residential additions, alterations, renovations and conversions
- inspections
- certificates of occupancy for residential construction
- separate permits issued for mechanical, electrical or plumbing work
- reissued expired permits if construction plans have not changed

### MISCELLANEOUS CLASSIFICATION INSTRUCTIONS

- Enter a building in only one category in Section 3. If you cannot determine a category, please call our staff.
- If a building has mixed residential and nonresidential use, enter the housing units based on the residential portion of the building. Please estimate the valuation based on the residential portion of the building only.
- Classify all buildings that are being totally rebuilt on an existing foundation as new construction.
- Type of ownership (e.g. condominium, cooperative, timeshare, etc.) is **NOT** considered when classifying a building.

DUE DATE:

OMB No. 0607-0094: Approval Expires 02/28/2019

FORM C-404 U.S. DEPARTMENT OF COMMERCE (3-21-2016) Economics and Statistics Administration U.S. CENSUS BUREAU

Title 13, United States Code, Sections 131 and 182, authorizes the Census Bureau to conduct this collection and to request your voluntary assistance. These data are subject to provisions of Title 13, United States Code, Section 9(a) exempting data that are customarily provided in public records from rules of confidentiality. This collection has been approved by the Office of Management and Budget (OMB). The eight-digit OMB approval number is 0607-0094 and appears at the upper right of this page. Without this approval we could not conduct this survey. We estimate this survey will take an average of 8 minutes per response for those that report monthly and 23 minutes for those that report annually to complete. More information about this estimate and an address where you may write with comments is on the back of this form.

REPORT OF BUILDING OR ZONING PERMITS ISSUED FOR NEW PRIVATELY-OWNED HOUSING UNITS

MELANIE TWEEDY
ADMIN ASST
FOR CITY OF TONGANOXIE
BOX 326
TONGANOXIE KS 66086

IMPORTANT: Please see the back of this form for more information and instructions for completing the survey. For further assistance, call 1-800-845-8244, or e-mail us at EID.RCB.BPS@census.gov

How can I report? Via Fax: 1-877-273-9501 Via Mail: U.S. Census Bureau 1201 East 10th Street Jeffersonville, IN 47132-0001 Via Internet or to get Help: econhelp.census.gov/bps Use your unique username and original password.

Name Change Spelling Correction Political Description Change

(Please correct any errors in name, address, and ZIP Code)

Username: Password:

1. PERIOD IN WHICH PERMITS WERE ISSUED July 2019

2. GEOGRAPHIC COVERAGE (For our latest information on your office's coverage, see www.census.gov/construction/bps/pdf/footnote.pdf) Did your permit system have a geographic coverage change? Yes, continue. No, skip to Section 3. Mark an (X) in the appropriate box and enter the requested information. If more space is needed continue in Section 5.

Table with 3 columns: Question (051-054), Effective Date, and other details. Includes questions about permit changes and extraterritorial jurisdiction.

3. NEW HOUSING UNITS a. Were there any building permits issued for new housing units during this period? Yes, enter data below. No, stop and return this form. Your report is important even if no permits were issued.

Table for Section 3 with columns: Type of Structure, Total Number of Buildings/Housing Units, and Total Valuation of Construction. Includes rows for single-family houses, two-unit buildings, etc.

4. ADDITIONAL INFORMATION ON INDIVIDUAL RESIDENTIAL PERMITS, FROM SECTION 3, VALUED AT \$1,000,000 OR MORE (If more space is needed, please attach a separate sheet.)

Table for Section 4 with columns: Description and Site Address, Owner or Builder, Number of Buildings/Housing Units, and Valuation of Construction. Includes fields for building name, address, and state.

5. COMMENTS (Continue on a separate sheet)

6. PERSON TO CONTACT REGARDING THIS REPORT Name: MELANIE TWEEDY Telephone: 913 845 2620 1010 E-mail address: MTWEEDY@TONGANOXIE.ORG Internet web address: Fax: 913 845 9760

See instructions on reverse side.

# INSTRUCTIONS FOR COMPLETING FORM C-404, "REPORT OF BUILDING OR ZONING PERMITS ISSUED FOR NEW PRIVATELY-OWNED HOUSING UNITS"

We estimate this survey will take an average of 8 minutes per response for those that report monthly and 23 minutes for those that report annually to complete, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information.

Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to: ECON Survey Comments 0607-0094, U.S. Census Bureau, 4600 Silver Hill Road, Room EMD-6K064, Washington, DC 20233. You may e-mail comments to [ECON.Survey.Comments@census.gov](mailto:ECON.Survey.Comments@census.gov). Be sure to use ECON Survey Comments 0607-0094 as the subject.

## GENERAL INSTRUCTIONS FOR EACH SECTION (Use your unique username and password provided to report via Internet: [econhelp.census.gov/bps](http://econhelp.census.gov/bps))

(Answers to Frequently Asked Questions can be found at [www.census.gov/permitsfaq](http://www.census.gov/permitsfaq))

- 1. PERIOD IN WHICH PERMITS WERE ISSUED** – Include all privately-owned residential permits which were authorized during the **month** or **year** shown.
- 2. GEOGRAPHIC COVERAGE** – If there has been a change in the area covered by your office, enter explanations in space provided next to selections 051–054 as applicable. If more space is needed, continue in Section 5. To review our latest information on your office's coverage, see [www.census.gov/construction/bps/pdf/footnote.pdf](http://www.census.gov/construction/bps/pdf/footnote.pdf). Report discrepancies by either entering in Section 5, calling 1–800–845–8244 with the information or e-mailing us at [EID.RCB.BPS@census.gov](mailto:EID.RCB.BPS@census.gov).  
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- hotels/motels
- other structures on residential property, such as sheds, garages, pools, etc., when permitted separately
- landscaping
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- Type of ownership (e.g. condominium, cooperative, timeshare, etc.) is **NOT** considered when classifying a building.

**\*\*PLEASE REMEMBER TO FILL IN THE YELLOW AREAS\*\***

Please return to: [building.statistics@construction.com](mailto:building.statistics@construction.com) or Fax: 800-892-7470 or Fax: 866-663-6373

**ID#: 4585**

**For the Month of: July 2019**

**Area covered by permits: City of Tonganoxie**

TOTAL VALUATION OF CONSTRUCTION EXCLUDES LAND AND PERMIT FEES

NEW RESIDENTIAL BUILDINGS	Total Number of Buildings	Total Dwelling Units	Total Valuation of Construction (omit cents)	Total Square Feet of Living Area (If available)
SINGLE FAMILY DETACHED		1	\$319,791	3,568
SINGLE FAMILY ATTACHED (Townhouses or Row Houses)				
TWO-FAMILY BUILDINGS (Duplexes)				
THREE-OR-MORE-FAMILY BUILDINGS (Apartments or Stacked Condos)				

If **No Permits** for these categories, please enter "X" in this box

QUESTION/COMMENTS  
Contact Us **TOLL-FREE** by  
Phone: 877-489-4092 Fax: 800-  
892-7470 or Fax: 866-663-  
6373

Name of person to contact regarding this report:

Melanie Tweedy

Phone Number: 913-845-2620 ext 1010

Email Address: [mtweedy@tonganoxie.org](mailto:mtweedy@tonganoxie.org)

**THANK YOU!**

**Dodge ID#** The ID number that is assigned to your area for entry purposes. On the postcard you received in the mail, it would appear in the space under our email address and over where it says "PERMITS ISSUED FOR NEW PRIVATELY-OWNED HOMES IN:"

**For the Month of:** The month the permits were issued.

**Area covered by permits:** The name of the area your office issues permits for. For some it is the name of a town, or a borough of a city, for others it may be the name of a county.

**Number of Buildings**  
Number of buildings, (number of foundations), with living units. Do not count guest houses, detached garages or other non-housekeeping buildings.

**Dwelling Units**  
Total of all the year-round living units in all the buildings. As an example, a row of four townhouses would be listed as 1 building, 4 dwelling units. The total of duplex units will always be two times the number of buildings.

**Assisted Living**  
Do Not Include.

**Valuation of Construction**  
Cost to build home, excluding land and permit fees.

**Square Feet of Living Area**  
Area of living space, or finished floor area.

**Single Family Detached**  
Single-family houses, detached. Exclude manufactured (mobil) homes. Include modular or prefabricated homes.

**Single Family Attached**  
Townhouses and row-houses. Privately owned living units separated by a ground to roof wall. No unit is above or below another. Separate heating systems and utility meters.

**Two-Family**  
Duplexes and twin-homes. Any two family building that does not meet all (three) criteria of Single Family Attached. Living units may be side by side or stacked.

**Three-or-More Family**  
Apartment and non-townhouse style condos where living units are stacked on top of the other.

TOTAL VALUATION OF CONSTRUCTION EXCLUDES LAND AND PERMIT FEES

NEW RESIDENTIAL BUILDINGS	Total Number of Buildings	Total Dwelling Units	Total Valuation of Construction (omit cents)	Total Square Feet of Living Area (if available)
SINGLE FAMILY DETACHED	X			
SINGLE FAMILY ATTACHED (Townhouses or Row Houses)				
TWO-FAMILY BUILDINGS (Duplexes)				
THREE-OR-MORE-FAMILY BUILDINGS (Apartments or Stacked Condos)				

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Fax: 1-866-863-8373 or  
building\_statistics@construction.com

**PERMITS ISSUED FOR NEW, PRIVATELY-OWNED HOMES IN**

Area Covered by Permits: \_\_\_\_\_

County, State: \_\_\_\_\_

Permits for the Month of: \_\_\_\_\_

Telephone: \_\_\_\_\_

THANK YOU!

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BEFORE MAILING OR  
FAX THIS CARD TO 800/892-7470 OR  
EMAIL TO building\_statistics@construction.com

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**ID#: 4585**

**For the Month of: August 2019**

**Area covered by permits: City of Tonganoxie**

TOTAL VALUATION OF CONSTRUCTION EXCLUDES LAND AND PERMIT FEES

NEW RESIDENTIAL BUILDINGS	Total Number of Buildings	Total Dwelling Units	Total Valuation of Construction (omit cents)	Total Square Feet of Living Area (If available)
SINGLE FAMILY DETACHED		6	\$1,389,034	11,238
SINGLE FAMILY ATTACHED (Townhouses or Row Houses)				
TWO-FAMILY BUILDINGS (Duplexes)				
THREE-OR-MORE-FAMILY BUILDINGS (Apartments or Stacked Condos)				

If **No Permits** for these categories, please enter "X" in this box

QUESTION/COMMENTS  
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Do Not Include.

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Cost to build home, excluding land and permit fees.

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Area of living space, or finished floor area.

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Single-family houses, detached. Exclude manufactured (mobil) homes. Include modular or prefabricated homes.

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Townhouses and row-houses. Privately owned living units separated by a ground to roof wall. No unit is above or below another. Separate heating systems and utility meters.

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Area Covered by Permits: \_\_\_\_\_

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Permits for the Month of: \_\_\_\_\_

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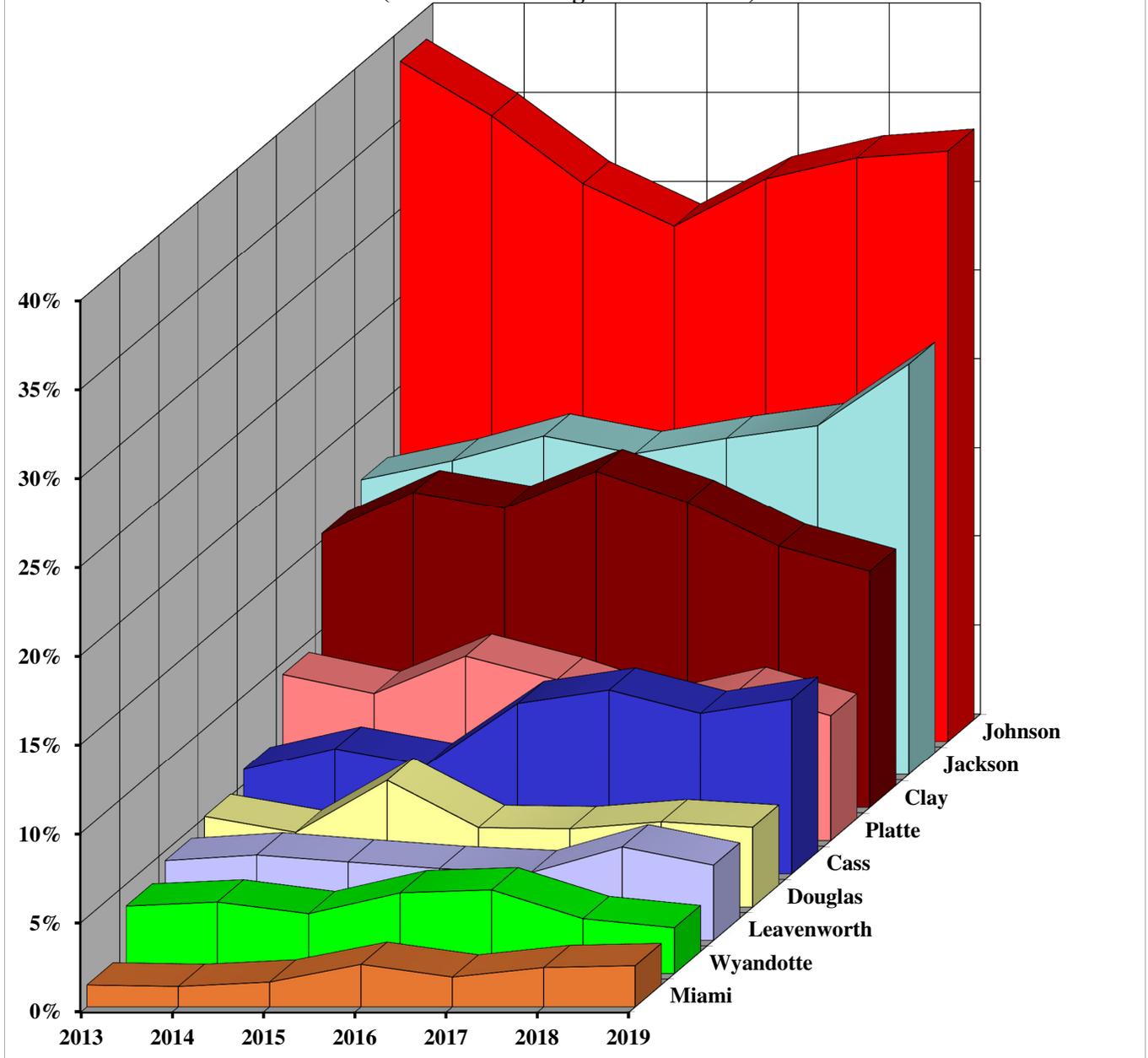
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# Kansas City Metro, KS & MO (9 Counties)

## Market Share by County

(Based on Building Permits Issued)

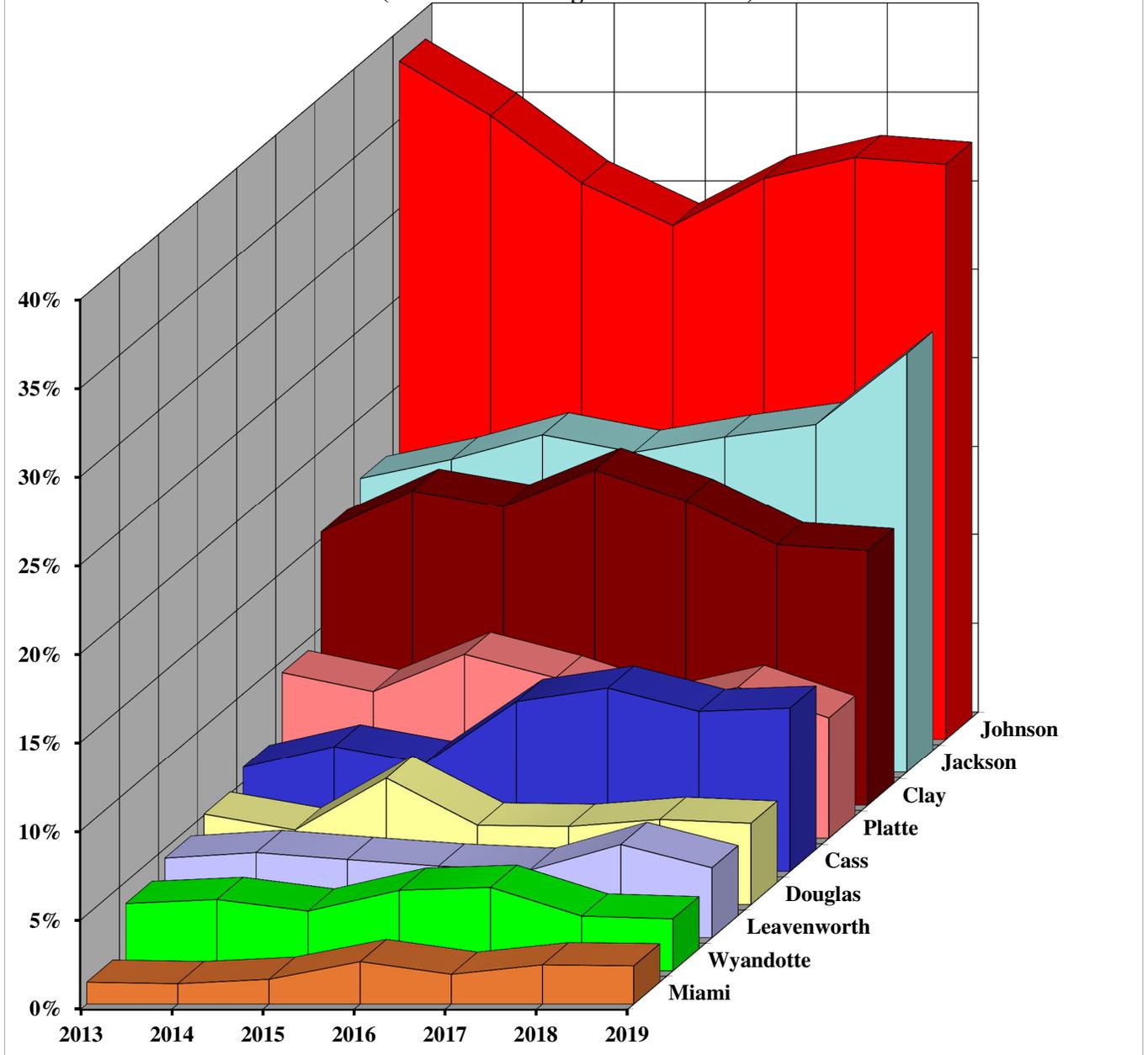


County	2013	2014	2015	2016	2017	2018	2019
Johnson	38.29%	35.23%	31.43%	29.04%	31.69%	32.87%	33.25%
Jackson	16.58%	17.66%	19.06%	18.06%	18.93%	19.63%	23.09%
Clay	15.40%	17.73%	16.84%	18.92%	17.17%	14.70%	13.28%
Platte	9.34%	8.27%	10.37%	9.05%	7.38%	8.52%	7.03%
Cass	5.85%	7.02%	6.09%	9.57%	10.33%	9.02%	9.82%
Douglas	5.07%	4.18%	7.10%	4.45%	4.38%	4.77%	4.46%
Leavenworth	4.46%	4.77%	4.38%	4.01%	3.78%	5.22%	4.20%
Wyandotte	3.77%	4.00%	3.35%	4.52%	4.68%	3.07%	2.57%
Miami	1.23%	1.14%	1.39%	2.38%	1.67%	2.20%	2.31%
	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%

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Clay	15.40%	17.73%	16.84%	18.92%	17.17%	14.70%	14.35%
Platte	9.34%	8.27%	10.37%	9.05%	7.38%	8.52%	6.79%
Cass	5.85%	7.02%	6.09%	9.57%	10.33%	9.02%	9.20%
Douglas	5.07%	4.18%	7.10%	4.45%	4.38%	4.77%	4.56%
Leavenworth	4.46%	4.77%	4.38%	4.01%	3.78%	5.22%	3.92%
Wyandotte	3.77%	4.00%	3.35%	4.52%	4.68%	3.07%	2.92%
Miami	1.23%	1.14%	1.39%	2.38%	1.67%	2.20%	2.14%
	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%	100.00%



**AUGUST 2019**

	Single Family Units <sup>^</sup>	Multi-Family Units <sup>%</sup>	Total Units	S-F Units YTD	M-F Units YTD	Total Units YTD
<b>CASS COUNTY</b>						
Archie	0	0	0	1	0	1
Belton	12	0	12	59	0	59
Cass County	0	0	0	14	0	14
Cleveland	1	0	1	1	0	1
Garden City	0	0	0	0	0	0
Harrisonville	1	0	1	7	0	7
Lake Winnebago	5	0	5	24	0	24
Lee's Summit	2	0	2	16	0	16
Peculiar	11	0	11	49	0	49
Pleasant Hill	1	0	1	15	0	15
Raymore	19	0	19	90	0	90
Village of Loch Lloyd	1	0	1	7	0	7
	<b>53</b>	<b>0</b>	<b>53</b>	<b>283</b>	<b>0</b>	<b>283</b>
<b>CLAY COUNTY</b>						
Clay County	4	0	4	25	0	25
Excelsior Springs	0	0	0	8	0	8
Gladstone	2	0	2	2	0	2
Kansas City	42	0	42	274	0	274
Kearney	1	0	1	34	0	34
Lawson	0	0	0	0	0	0
Liberty	3	0	3	22	0	22
North Kansas City	0	0	0	5	240	245
Pleasant Valley	0	0	0	0	0	0
Smithville	3	0	3	30	0	30
	<b>55</b>	<b>0</b>	<b>55</b>	<b>400</b>	<b>240</b>	<b>640</b>
<b>JACKSON COUNTY</b>						
Blue Springs	7	134	141	153	134	287
Buckner	0	0	0	0	0	0
Grain Valley	22	0	22	101	0	101
Grandview	1	0	1	3	160	163
Greenwood	0	0	0	0	0	0
Independence	12	0	12	68	0	68
Jackson County	12	0	12	52	0	52
Kansas City	12	0	12	65	0	65
Lake Lotawana	2	0	2	2	0	2
Lee's Summit	20	102	122	228	346	574
Oak Grove	0	0	0	3	0	3
Raytown	0	0	0	0	0	0
Sugar Creek	0	0	0	0	0	0
	<b>88</b>	<b>236</b>	<b>324</b>	<b>675</b>	<b>640</b>	<b>1315</b>
<b>PLATTE COUNTY</b>						
Kansas City	12	0	12	101	0	101
Parkville	5	0	5	22	0	22
Platte City	0	0	0	0	0	0
Platte County	25	0	25	95	0	95
Riverside	0	0	0	5	0	5
Weatherby Lake	0	0	0	3	0	3
Weston	0	0	0	0	0	0
	<b>42</b>	<b>0</b>	<b>42</b>	<b>226</b>	<b>0</b>	<b>226</b>
<b>JOHNSON COUNTY</b>						
De Soto	7	0	7	34	0	34
Edgerton	0	0	0	0	0	0
Fairway	1	0	1	1	0	1
Gardner	17	0	17	99	0	99
Johnson County	3	0	3	30	0	30
Leawood	1	0	1	23	0	23
Lenexa	36	0	36	158	0	158
Merriam	0	0	0	1	0	1
Mission Hills	0	0	0	0	0	0
Olathe	40	0	40	296	49	345
Overland Park	37	0	37	206	410	616
Prairie Village	4	0	4	44	0	44
Roeland Park	0	0	0	0	0	0
Shawnee	9	0	9	76	0	76
Spring Hill	10	0	10	84	0	84
Westwood	0	0	0	6	0	6
	<b>165</b>	<b>0</b>	<b>165</b>	<b>1058</b>	<b>459</b>	<b>1517</b>

	Single Family Units <sup>^</sup>	Multi-Family Units <sup>%</sup>	Total Units	S-F Units YTD	M-F Units YTD	Total Units YTD
<b>LEAVENWORTH COUNTY</b>						
Basehor	5	0	5	38	0	38
Lansing	0	0	0	2	0	2
Leav. County	12	0	12	57	0	57
Leavenworth	0	0	0	9	0	9
Tonganoxie	6	0	6	27	0	27
	<b>23</b>	<b>0</b>	<b>23</b>	<b>133</b>	<b>0</b>	<b>133</b>
<b>WYANDOTTE COUNTY</b>						
Bonner Springs	0	0	0	5	0	5
Edwardsville	0	0	0	0	0	0
KCK/Wyandotte Co	6	0	6	74	0	74
	<b>6</b>	<b>0</b>	<b>6</b>	<b>79</b>	<b>0</b>	<b>79</b>
<b>MIAMI COUNTY</b>						
Louisburg	0	0	0	23	0	23
Miami County	4	0	4	31	0	31
Osawatomie	0	0	0	0	0	0
Paola	0	0	0	1	0	1
Spring Hill	0	0	0	11	108	119
	<b>4</b>	<b>0</b>	<b>4</b>	<b>66</b>	<b>108</b>	<b>174</b>
<b>Totals</b>	<b>436</b>	<b>236</b>	<b>672</b>	<b>2920</b>	<b>1447</b>	<b>4367</b>

**Comparison of Single Family Building Units for Greater Kansas City**  
(Cass, Clay, Jackson, Platte, Johnson, Leavenworth, Miami, Wyandotte Counties)

Month/Year	2012	2013	2014	2015	2016	2017	2018	2019
January	188	273	287	240	274	457	463	234
February	182	224	216	260	408	477	463	234
March	270	335	362	393	542	571	549	357
April	277	444	439	437	523	562	564	410
May	294	337	385	395	503	504	598	391
June	268	333	364	438	578	567	569	387
July	288	409	375	399	494	512	485	471
August	260	354	352	425	536	480	514	436
September	379	384	383	462	424	514	353	
October	331	369	468	459	466	583	485	
November	283	340	312	360	417	502	354	
December	279	288	328	432	352	468	276	
<b>Annual Total</b>	<b>3,299</b>	<b>4,090</b>	<b>4,271</b>	<b>4,700</b>	<b>5,517</b>	<b>6,197</b>	<b>5,673</b>	<b>2,920</b>

**Comparison of Permits By Units Issued Year to Date**

**2012 - 2019**

	S-F Units	M-F Units	Total Units
2012	2027	1062	3089
2013	2709	1881	4590
2014	2780	2271	5051
2015	2987	1765	4752
2016	3858	3062	6920
2017	4130	1213	5343
2018	4205	2345	6550
2019	2920	1447	4367

<sup>^</sup>The Single Family number is units and includes both attached and detached units.  
<sup>%</sup>Multi-Family units are in buildings with 5 or more units.  
 # Not available at time of report

Permit information reflects the most recent data at time of publication. In order to ensure accurate recording of residential building permit statistics, the HBA may revise monthly and year-to-date figures when updated data is made available. Copyright 2019 Home Builders Assoc of Greater Kansas City. All rights reserved.